



**Town of Highland Park, Texas**

**Board of Adjustment**

**AGENDA**

8:30 A.M.  
Wednesday, February 12, 2025

4700 Drexel Drive  
Town Council Chambers

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**I. CALL TO ORDER**

**II. MINUTES**

**III. PUBLIC HEARINGS**

1. Conduct a public hearing and consider a variance from Section 8-601(1) of the Zoning Ordinance to exceed the 50% lot coverage allowed in the rear half of a lot by 4% to construct an attached two-car garage on property located at 4500 Bordeaux Avenue. (This item was postponed from the January 8, 2025, Board of Adjustment meeting.)

**IV. CLOSED SESSION**

1. In accordance with the Texas Government Code Chapter 551, Subchapter D, Section 551.071 - CONSULTATION WITH ATTORNEY, the Board of Adjustment will convene into closed session in the Executive Conference Room for consultation with and to receive legal advice from the Town Attorney regarding the roles and duties of members of the Board of Adjustment

**V. OPEN SESSION**

1. Pursuant to Section 551.102 of the Texas Government Code, the final action, decision, or vote regarding Closed Session Item 1. above, shall be made, if any.

**VI. ADJOURNMENT**

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A member of the public may address the governing body regarding an item on the agenda either before or during the body's consideration of the item, upon being recognized by the presiding officer or the consent of the body.

SPECIAL ACCOMMODATIONS FOR TOWN COUNCIL MEETINGS: Let us know if you need special assistance of any kind. Please contact the Town of Highland Park Administrative staff at (214) 521-4161 from 7:30 a.m. to 4:30 p.m., Monday through Friday.

MINUTES OF A MEETING OF THE BOARD OF ADJUSTMENT OF THE TOWN OF HIGHLAND PARK, TEXAS, HELD AT THE TOWN HALL, 4700 DREXEL DRIVE, HIGHLAND PARK, TEXAS, 75205, AT 8:30 A.M. ON WEDNESDAY, JANUARY 8, 2025.

Present at the meeting were Chair Stacey Furst, Board Members Robert McCulloch, Alison Hunsicker, and Joan Clark, as well as Alternate Nancy Rogers. Board Member Jim Yoder and Alternate Louis Morrison were absent. Susan Thomas, Town Attorney, was also present.

**I. CALL TO ORDER**

Chair Furst called the meeting to order at 8:32 a.m. She stated that Alternate Nancy Rogers would be voting in place of Board Member Jim Yoder in his absence.

**II. MINUTES**

On a motion by Alison Hunsicker, seconded by Robert McCulloch, the Board voted unanimously to approve the minutes of the Board of Adjustment meeting held on October 9, 2024.

**III. PUBLIC HEARINGS**

*A. Conduct a public hearing and consider a variance from Section 15-101 of the Zoning Ordinance to install a perimeter fence, associated landscape edging/planting, an automated driveway gate, and retaining wall within the 61' front yard setback on property located at 4311 and 4321 Lakeside Drive.* Section 15-101 of the Zoning Ordinance permits the construction of a fence or wall up to a maximum height of eight feet along or within the front building line, provided it does not extend into, onto, or around the required front yard. The proposed eight-foot wall is intended to enclose the property and encroach into the setback along Armstrong Avenue and Lakeside Drive.

Jeff Armstrong, Director of Community Development, presented an overview of the case, highlighting the uniqueness of the property. The lot is bordered by streets on three sides, which classifies the property as having two front yards. Originally consisting of four separate lots, the property has since been combined into two lots. Zoning Ordinance regulations prohibit further lot combinations. As a result, the house must be constructed on one lot, with the southern lot designated for the home and the northern lot designated as the yard area. A previous various request for this property was approved at a Board of Adjustments meeting on February 8, 2023, to construct a masonry wall along the Oak Lawn Avenue frontage.

Architects with SHM Architects were present and invited to comment. The Board was shown renderings of the proposed fence design. It was explained that the design of the fence is intended to be visually appealing and serve as an artistic element while preserving much of the landscape and trees along the property. The proposed section of the fence will not be a traditional masonry wall that fully blocks the view into the property; instead, it will be constructed of steel into vertical piers, creating a semi-transparent design that allows visibility into the property from certain angles. They emphasized their concern for the trees inside and outside of the fence, ensuring the fence will have minimal impact on the roots of surrounding trees, while also encouraging proper stormwater

flow and infiltration. In response to a question from Board Member Hunsicker, the architects confirmed that the wall along Oak Lawn Avenue would be made of masonry, offering a different design that enhances the variety of aesthetics and improves the pedestrian experience.

There were no responses to the notification sent to property owners in the area.  
There were no letters in support of or in opposition to this request received by the Town.  
No one present at the meeting spoke in support of or opposition to this request.

## BOARD DISCUSSION

In response to a question from Board Member Rogers, Mr. Armstrong confirmed that the Zoning Ordinance does not specify the restriction of the construction of fences on vacant lots.

Board Member Clark made a motion, seconded by Board Member McCulloch, to approve the variance request from Section 15-101 of the Zoning Ordinance to install a perimeter fence, associated landscape edging/planting, an automated driveway gate, and retaining wall within the 61' front yard setback on property located at 4311 and 4321 Lakeside Drive with the condition that perimeter wall be consistent with the proposed site plan and renderings presented to the board, except that the portion of the wall shown within the easement along the south property line will not be permitted. This variance was approved with a vote of four board members in favor and one opposed.

*B. Conduct a public hearing and consider a variance from Section 8-601(1) of the Zoning Ordinance to exceed the 50% lot coverage allowed in the rear half of a lot by 4% to construct an attached two-car garage on property located at 4500 Bordeaux Avenue. Section 8-601(1) of the Zoning Ordinance states that a main residential building shall not cover more than 50% of the portion of the lot lying behind a line drawn between the midpoints of the lot's opposing sides. The proposed two-story detached garage would exceed the 50% maximum lot coverage for the rear half of a lot by 3.82%.*

Mr. Armstrong provided an overview of the case, explaining that the Zoning Ordinance requires single-family homes to have a minimum of two covered, enclosed parking spaces. Currently, the property does not meet this requirement, so the proposed garage would bring the property into compliance. In response to a question from Board Member Hunsicker, Mr. Armstrong confirmed that it would not be possible to construct a two-car garage of adequate size without exceeding the 50% lot coverage in the rear half of the lot.

Mark Berry, architect with Berry Bull Ballas Architects, was present and invited to comment. Mr. Berry confirmed that although the proposed garage exceeds the lot coverage in the rear half, the total lot coverage for the property remains within the maximum allowable limits.

There were no responses to the notification sent to property owners in the area.  
There were no letters in support of or in opposition to this request received by the Town.  
No one present at the meeting spoke in support of this request.

During the meeting, one individual spoke in opposition to this request: David Snodgrass, 4501 Arcady Avenue, expressed concerns about water runoff during rainfall. His property, located behind the subject property, is affected by drainage, and he wants to ensure that the proposed garage will not disrupt the flow of water in a way that could negatively impact runoff onto his property.

#### BOARD DISCUSSION

On a motion made by Chair Furst and seconded by Board Member Hunsicker, the Board voted unanimously to postpone the variance request to the next Board of Adjustments meeting, scheduled for February, in order to allow Town staff to gather additional information regarding the drainage plan of the proposed garage.

#### IV. ADJOURNMENT

On a motion made by Board Member Hunsicker, seconded by Board Member Rogers, the Board voted unanimously to adjourn the meeting at 9:29 a.m.

Approved on this 12th day of February 2025.

APPROVED:

Stacey Furst  
Chair

ATTEST:

Sofia Tarango  
Administrative Assistant



# *Town of Highland Park Board of Adjustment*

## *Staff Report*

**MEETING DATE:** February 12, 2025

**REQUEST:** A variance from Section 8-601 of the Zoning Ordinance to exceed the 50% maximum lot coverage allowed in the rear half of the lot by 4% to construct an attached two-car garage.

**LOCATION:** 4500 Bordeaux Dr.

### **SUMMARY**

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The applicant proposes construction of a two-story addition to the home consisting of a two-car garage on the lower floor and a bonus room on the upper floor. The addition would be located toward the rear of the property. The garage would be accessed through an existing curb cut from the side street (Lomo Alto Dr.).

At some point in the past a previously existing garage was converted into living space leaving no enclosed parking on the site. The Zoning Ordinance requires all single-family homes to have a minimum of two covered and enclosed parking spaces. Staff has not located any definitive date when the garage conversion took place, but believes it occurred in the mid-1990's or earlier.

### **ORDINANCE**

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**SEC. 8-601: NO BUILDING OR STRUCTURE SHALL HEREAFTER BE LOCATED, ERECTED OR ALTERED TO HAVE A REAR YARD SMALLER THAN HEREIN REQUIRED:**

(1) "...In all districts permitting residential structures, a main residential building shall not cover more than fifty percent (50%) of that portion of the lot lying to the rear of a line erected joining the midpoint of one side of the lot with the midpoint of the opposite side of the lot..."

The rear half of the subject property is 6,041 square feet. By ordinance the maximum square footage of lot coverage permitted in the rear half of the lot is 3,020.5 square feet. The proposed garage structure would exceed the maximum square footage of coverage allowed in the rear half of the lot by 231 square feet (3.82%).



# *Town of Highland Park Board of Adjustment*

## *Staff Report*

### **ANALYSIS**

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Section 17-200 of the Zoning Ordinance states that the Board shall, in its judgment, determine the following when considering exceptions:

- The public convenience and welfare will be substantially served, and appropriate use of the neighboring property will not be substantially or permanently injured.

**Analysis:** The proposed addition will meet all requirements except for the lot coverage that is subject of this request. The second floor of the proposed addition will have no windows facing the adjacent property to the rear. Windows will face the adjacent side property line at a distance of 40 feet from the property line. The ordinance allows such windows when a minimum of 20 feet from the side property line. Windows are also proposed to face Lomo Alto Dr. and the stairs and entry door to the second floor will face toward the front of the lot. Staff does not expect any negative impact on the public convenience or welfare from this request.

- Determine that the proposed modification is necessary to secure appropriate development of land that differs from other parcels in the district by being of such restricted area, shape, or slope that it cannot be appropriately developed without such modification.

**Analysis:** As previously stated, there is no garage on the property. The Zoning Ordinance requires enclosed parking for at least two vehicles on all single-family residential lots. There is no way to add a two-car garage to the subject property without needing some sort of relief from ordinance requirements. A detached garage would require an exception from the setback and attaching the garage (as proposed) necessitates relief from the lot coverage requirement. Having no garage on site, leaves the property out of compliance with the Zoning Ordinance. Staff suggests that an additional 4% lot coverage on the rear portion of the lot is reasonable versus encroaching into a setback or the property continuing to exist without a garage.

### **RECOMMENDATION**

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Staff recommends approval.

### **ATTACHMENTS**

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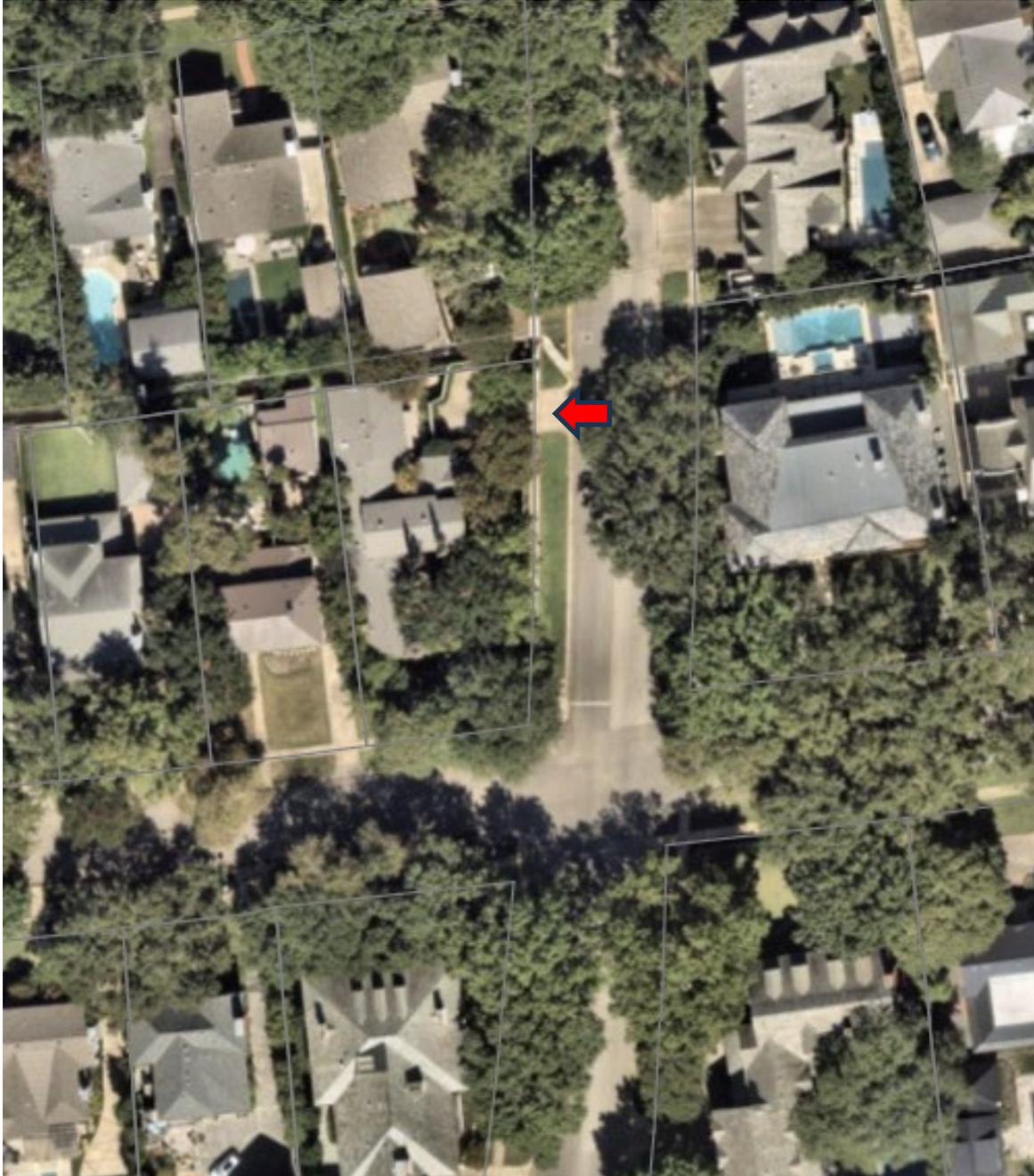
1. Aerial Map
2. Written Notification Area Map
3. Application and Associated Materials



*Town of Highland Park  
Board of Adjustment*

*Staff Report*

**ATTACHMENT 1 – AERIAL MAP**





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Board of Adjustment*

*Staff Report*

**ATTACHMENT 2 – NOTIFICATION MAP**





*Town of Highland Park  
Board of Adjustment*

*Staff Report*

**ATTACHMENT 3 – APPLICATION AND ASSOCIATED MATERIALS**

(See following pages)

MAYOR  
*William C. Beecher*  
 MAYOR PRO TEM  
*Craig Penfold*  
 TOWN ADMINISTRATOR  
*Tobin E. Maples, AICP*



TOWN COUNCIL  
 MEMBERS  
*Marc Myers*  
*Lydia Novakova*  
*Don Snell*  
*Leiland White*

**BOARD OF ADJUSTMENT (“BOA”) / PLANNING REVIEW BOARD**  
**2024 FILING AND PROCESS SCHEDULE**

All BOA meetings will begin at 8:30 a.m., unless otherwise noted.

**Location:**  
**Town Council Chambers, Town Hall**  
**4700 Drexel Drive**  
**Highland Park, TX 75205**

The application (Appeal to the Board of Adjustment), attachments, and fee must be turned in on or before the application deadline. A filing fee of \$200.00 is required.

Application Deadline	Meeting Date
Dec 1, 2023	Jan 10, 2024
Jan 5, 2024	Feb 14, 2024
Feb 2, 2024	Mar 13, 2024
Mar 1, 2024	Apr 10, 2024
Apr 5, 2024	May 8, 2024
May 3, 2024	June 12, 2024
Jun 7, 2024	July 10, 2024
Jul 5, 2024	Aug 14, 2024
Aug 2, 2024	Sep 11, 2024
Sep 6, 2024	Oct 9, 2024
Oct 4, 2024	Nov 13, 2024
Nov 1, 2024	Dec 11, 2024
Dec 6, 2024	Jan 8, 2025

Note: Agendas are posted on the official bulletin board at the Department of Public Safety Dispatch Office, 4700 Drexel Drive, at the St. Johns Drive Library Entrance, and on the Town’s website 72 hours prior to meeting.

THE TOWN OF  
*Highland Park*  
TEXAS

4700 Drexel Drive, Highland Park, TX 75205  
214-521-4161 office 214-559-9335 fax

**Department of Building Inspection**

Items required to apply for an appeal to the Board of Adjustment:

- Pre-Application meeting with Department Staff to review plan submittal requirements;
- Application for Building Permit and related plans;
- Application for Board of Adjustment (BOA) completed and signed by *Property Owner*. (For Jurisdiction: described the hardship of the property/building site, how it differs from other properties in its zoning district and why it cannot be appropriately developed without such a variance as being requested. If necessary, then please utilize additional page(s) in letter form and address the letter to the attention of the "Members of the Board of Adjustment");
- BOA Application fee (\$200.00);
- Two (2) copies of plans (11"X17"max);
- One (1) copy of plans to scale (24"x36"max);
- Plans to include site plan (w/existing & required setbacks shown), floor plans, exterior elevations all with dimensions;
- Copy of site survey with R.P.L.S. seal.

All of the above items must be presented to the Building Department at one time to begin the process of appeal.

Should you have any questions please call our office Monday through Friday  
7:30AM-4:30PM, (214)521-4161.

Sincerely,

Hugh Pender  
Director of Development Services  
[hpender@hptx.org](mailto:hpender@hptx.org)

THE TOWN OF  
*Highland Park*  
TEXAS

4700 Drexel Drive, Highland Park, TX 75205  
214-521-4161 office 214-559-9335 fax

**Department of Building Inspection**

While nothing can guarantee that your project will be approved, the following tips may help facilitate the Board of Adjustment public hearing process:

- Contact the adjacent neighbors (within a min. 200 ft from your property) during conceptual design to receive feedback, interests, or concerns for the proposed project.
- Prior to the required city notification of the submitted application, invite the adjacent neighbors to comment on the design.
- Provide city contact information to all neighbors so that they may comment publicly about the project.
- Provide clean, detailed and legible plan documents for review.
- Provide an artistic rendering of the proposed structure.

APPEAL TO THE BOARD OF ADJUSTMENT  
TOWN OF HIGHLAND PARK

(Please Type or Print)

ADDRESS 4500 Bordeaux Owner's Name Manish Patel  
LEGAL DESCRIPTION: Lot(s) 26 Block 113 Addition Highland Park  
Mailing Address 4500 Bordeaux  
City Highland Park State TX Zip Code 75205-3609

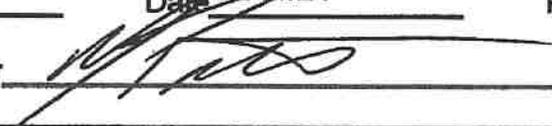
1. **Request:** Owner requests to exceed the rear lot 50% coverage ordinance by 4% in order to return a two-car garage to the property thus complying with Section 9. Off-Street Parking and Loading Space Regulation., 9-101 (1) Districts C, D & E One Family Residence Districts:  
Three (3) spaces for each dwelling unit. Two parking spaces shall be enclosed and shall be located behind the front building line. This will return the property to comply with zoning.

2. **Jurisdiction:** [Applicant has reviewed Section 17-200 a,b, and c of the Highland Park Zoning Ordinance (copy attached) and is of the opinion that the Board of Adjustment has jurisdiction for the following reason(s)]

The primary reason is to return the property to current zoning standards requiring a lot in this district to have two-cars of enclosed storage.

Additional information submitted by applicant see site plan, floor plan, exterior elevations and perspective renderings.

Fee Paid 200.00 Date 12/11/24 Phone 512 983 1181

3. Signature of Owner 

(To be completed by Building Inspection Department)

Reason for denial: \_\_\_\_\_  
Explanation: \_\_\_\_\_ Section \_\_\_\_\_

\_\_\_\_\_  
Building Inspector Date



**GENERAL NOTES**

- Contractor shall field verify all dimensions and notify architect of any discrepancies between the drawings and field dimensions before proceeding.
- Written dimensions shall take precedence over scaled dimensions.
- All dimensions are to the face of the finish material.
- All substitutions and revisions shall be discussed with Architect's office prior to purchase and installation.
- All equipment shall be installed in accordance with all governing National and local codes. The contractor shall be responsible for notifying the architect immediately of any conflicts pertaining to any codes and the contract documents.
- The contractor shall be responsible for damage to equipment before, during, and after installation from project commencement until project completion or owner turnover.
- Shop drawings are required for all millwork and custom made items, including but not limited to: cabinetetry work, doors, windows, metal work, all stair components, elevator, elevator cabs, stone detailing, and mantles. If there is any question about a specific item not listed above, contact Architect for direction.
- Contractor shall inform the Architect immediately of any discrepancies in the drawings.
- The contractor shall provide smoke detectors on each floor of the house and in each sleeping room. Coordinate location with Owner.
- All interior finishes and materials shall be selected and approved by the Owner/Interior Designer.
- Abbreviations throughout the plans are those in common use. Notify the Architect of any abbreviations in question.
- Contractor shall coordinate the installation of the various trade items within the space of above all ceilings (including but not limited to: structural members, mechanical ducts and insulation, conduits, raceways, light fixtures, ceiling systems, and any special structural supports required) and shall be responsible for maintaining the finish ceiling height above the finish floor indicated in the drawings and the finish schedule.
- The specifications and all consistent drawings are supplemental to the architectural drawings. It shall be the responsibility of the contractor to coordinate with the architectural drawings before the installation of any of the contractor's work and to bring such items to the Architect's attention for clarification. Improperly installed work shall be corrected by the Contractor at his expense and at no expense to the Architect, his consultants, or the Owner.
- Contractor and subcontractors shall be responsible for obtaining and paying for all permits and fees required, not normally covered by the building permits.
- The Contractor shall provide a staging and material storage area adjacent to the area of construction. DO NOT store any material under the drip lines of trees. Coordinate location with Owner's Arborist and/or Landscape Architect.
- The Contractor shall make necessary connections to existing utilities for temporary power and water supplies, and shall coordinate such work with the Owner.
- Install roll-on waterproof membrane @ showers, tubs, & other wet areas. Submit spec. to Architect for approval.

**ELECTRICAL NOTES**

- The entire electrical system shall be in compliance with the National Electrical Code and all applicable local codes.
- No electrical equipment, lighting fixtures, or other miscellaneous electrical items shall be ordered, purchased, or installed without prior review and approval by the Architect and Owner.
- All electrical equipment, including but not limited to: outlets, switches, conduit, electrical panels, junction boxes, switch gear, wiring, etc., shall be located per plans and shall bear the Underwriters label of approval.
- Hall receptacles, including electrical outlets, cable, coaxial, and telephone connections, shall be installed at a height of 12" unless noted otherwise.
- Hall switches shall be installed at a height of 42" unless noted otherwise.
- Contractor is responsible for all cutting, excavation, and backfill.
- Coordinate electrical equipment installation with other trades.
- Contractor to install all electrical box and fixtures prior to wiring and coordinate a walk-thru with Architect/Interior Designer and Owner prior to wire installation.
- Contractor to run telephone and cable to every built-in featuring a computer or television.
- Confirm locations of all floor receptacles with Owner & Interior Designer.

**FRAMING NOTES**

- Contractor shall double floor joists and T&E under all tubs, showers, steeper slopes of stairs, and 2x6 stud walls parallel to floor joists. Triple joists under 2x6 stud walls parallel to floor joists.
- Written dimensions shall take precedence over scaled dimensions.
- All dimensions are to the face of framing members.
- Contractor shall inform the Architect immediately of any discrepancies in the drawings.
- For new construction, typical wall construction is to be type "A" 5/8" gypsum wallboard. Bathroom walls are to receive water resistant gypsum board. Tub and shower enclosures shall receive cementitious backer board.
- Joists and rafters shall be #2 Southern Yellow Pine or #2 Douglas Fir or better 18# moisture content.
- Studs shall be stud grade Douglas Fir or better.
- Timbers, posts, built-up beams and columns shall be #2 Douglas Fir or better.
- Triple stud all corners.
- Provide exterior grade solid plywood sheathing bracing.
- Install T&E per manufacturer specifications.
- Drop framing as required to allow for nod set in areas of tile flooring. Refer to architectural floor plans, floor patterning plans, and leveling sections.
- Install bathroom wall fixture blocking (see 2x6 lumber). Add blocking for toilet paper holder on both sides of toilet (where applicable) 2'-0" above finish floor, robe hooks 3'-0", towel rack 4'-0", and hand towel holder 4'-6".

**IRGC NOTES**

- Contractor shall comply to all IRGC code requirements.
- All exterior walls are a minimum 2x6 with R21 insulation.
- Radiant barrier required on underside of roof sheathing.

**FIREBOX & MANTLE NOTES**

- Provide that all fireplaces may be used as gas or wood burning.
- Unless noted otherwise, all hearths are finished with the finish sheetrock (G.O.). Additionally, it is recommended that firebrick and firebox extensions not be installed until mantels are located and installed (or at least measured by the mason). Contractor should expect that mason will need to return to extend the firebox into the room to accommodate one-made or antique mantels and install firebrick accordingly.
- Firebrick is to be installed in the brick pattern shown on floor elevations using 1-1/4" x 1" dimensional brick.
- Headers, beams, joists, & studs shall be no less than 2 inches from the outside face of a chimney or from masonry enclosing a flue. CHECK LOCAL CODES!!!!

**STONE & TILE NOTES**

- Contractor to verify all field dimensions prior to construction and installation.
- Contractor is to verify drain location and handedness of fixtures.
- Contractor is to verify dimensions of all fixtures and appliances related to work.
- Water bed required under all stone and tile installed on floor.

**SITE NOTES**

- Protect all trees from damage.
- Provide positive drainage away from all construction.
- Contractor to located all site utilities prior to any construction.
- Inform owner immediately of change in health status of existing trees or plants.
- All trenching & digging close to tree root systems shall be performed by hand.
- Consult with Arborist and Owner prior to ANY excavation and backfill.

**MILLWORK NOTES**

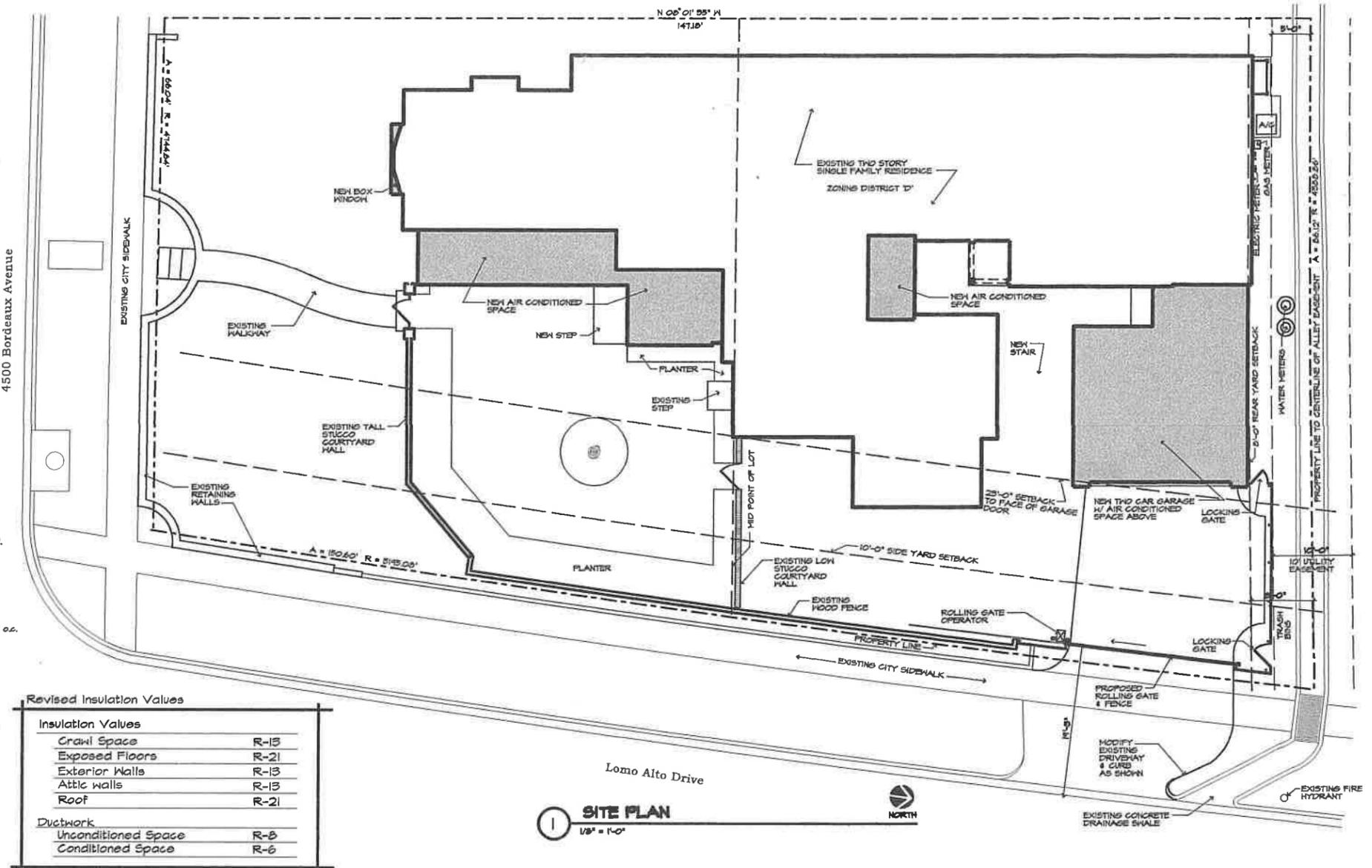
- Contractors are to verify all field dimensions.
- Shop drawings required for all millwork unless written authorization is received from Architect.
- Maximum clearance between cabinet drawers/doors and frame to be 5/16".
- Submit all cabinet hardware to Architect for approval.
- Butt joint construction prohibited.

**ROOF PLAN NOTES**

- Extend all downspouts away from foundation.
- Metal roof where indicated shall be paint grip metal, standing seams @ 21" o.c.
- All gutter and flashing is to be paint grip metal.
- All roof decking to have foil back radiant barrier. Refer Louisiana Pacific "TechShield" or equal.

**MECHANICAL NOTES**

- The entire mechanical system shall be in compliance with the National Electrical Code and all applicable local codes.
- No plumbing fixture shall be ordered, purchased, or installed without prior review and approval by the Architect and Owner.
- No mechanical fixtures or equipment shall be ordered, purchased, or installed without prior review and approval by the Architect and Owner.
- Water heaters are NOT to be located in the attic without prior review and approval from the Architect and Structural Engineer.
- All mechanical placed beneath the structure shall be constructed with flexible connections to allow for pipe movements associated with anticipated vertical soil movements.
- Provide water service cut-off as required.
- Insulate under all hard surface floors of second floor.
- Provide proper combustion air for all gas-fired appliances.
- Coordinate mechanical equipment with other trades.
- Coordinate plumbing and mechanical equipment locations with medicine cabinets.



**Revised Insulation Values**

Insulation Values	
Crawl Space	R-15
Exposed Floors	R-21
Exterior Walls	R-13
Attic walls	R-13
Roof	R-21
Ductwork	
Unconditioned Space	R-8
Conditioned Space	R-6

**Square Footage Tabulation**

First Floor A/C (Existing)	3,539 s.f.
First Floor A/C (New)	349 s.f.
<b>Total First Floor A/C Square Footage</b>	<b>3,888 s.f.</b>
Second Floor A/C (Existing house)	724 s.f.
New Second Floor A/C (New garage)	331 s.f.
<b>Total Second Floor A/C Square Footage</b>	<b>1,055 s.f.</b>
<b>Total A/C Square Footage</b>	<b>4,943 s.f.</b>
New Detached Two Car garage (non A/C)	531 s.f.
Covered Porch (Existing)	28 s.f.
<b>Total Non A/C Square Footage</b>	<b>559 s.f.</b>
<b>Total Covered Square Footage</b>	<b>5,502 s.f.</b>

**Lot Coverage Tabulation**

Total Lot Area	11,333 s.f.
40% Max. Lot coverage	4,533 s.f.
Actual Total Lot Coverage including existing & new additions	4,501 s.f. (39.72%)
Rear Half of Lot Area	6,041 s.f.
50% Max. Lot coverage	3,021 s.f.
Actual Lot Coverage of rear half of lot including existing & new additions	3,252 s.f. (53.83%)
<b>231 s.f. average</b>	

**1 SITE PLAN**  
1/8" = 1'-0"

**Legal Description**

**4500 BORDEAUX AVENUE**  
Lot 26, Block 113 of HIGHLAND PARK WEST, EIGHTH INSTALLMENT an addition to the Town of Highland Park, Dallas County, Texas according to the plat thereof recorded in Volume 5, Page 125, Map Records, Dallas County, Texas

**DRAWING LEGEND**

A-1.1	Site Plan, Square Figs & Legal Info.
A-2.1	First Floor Demolition Plan
A-2.2	First Floor New Construction Plan
A-2.3	Second Floor Demo. & New Construction Plans
A-3.1	Roof Plan
A-4.1	Exterior Elevations
A-4.2	Exterior Elevations

DRAWN BY Barry Bull Dallas Architects Inc.

Address  
4500  
Bordeaux  
Avenue  
Dallas  
75218  
Revisions

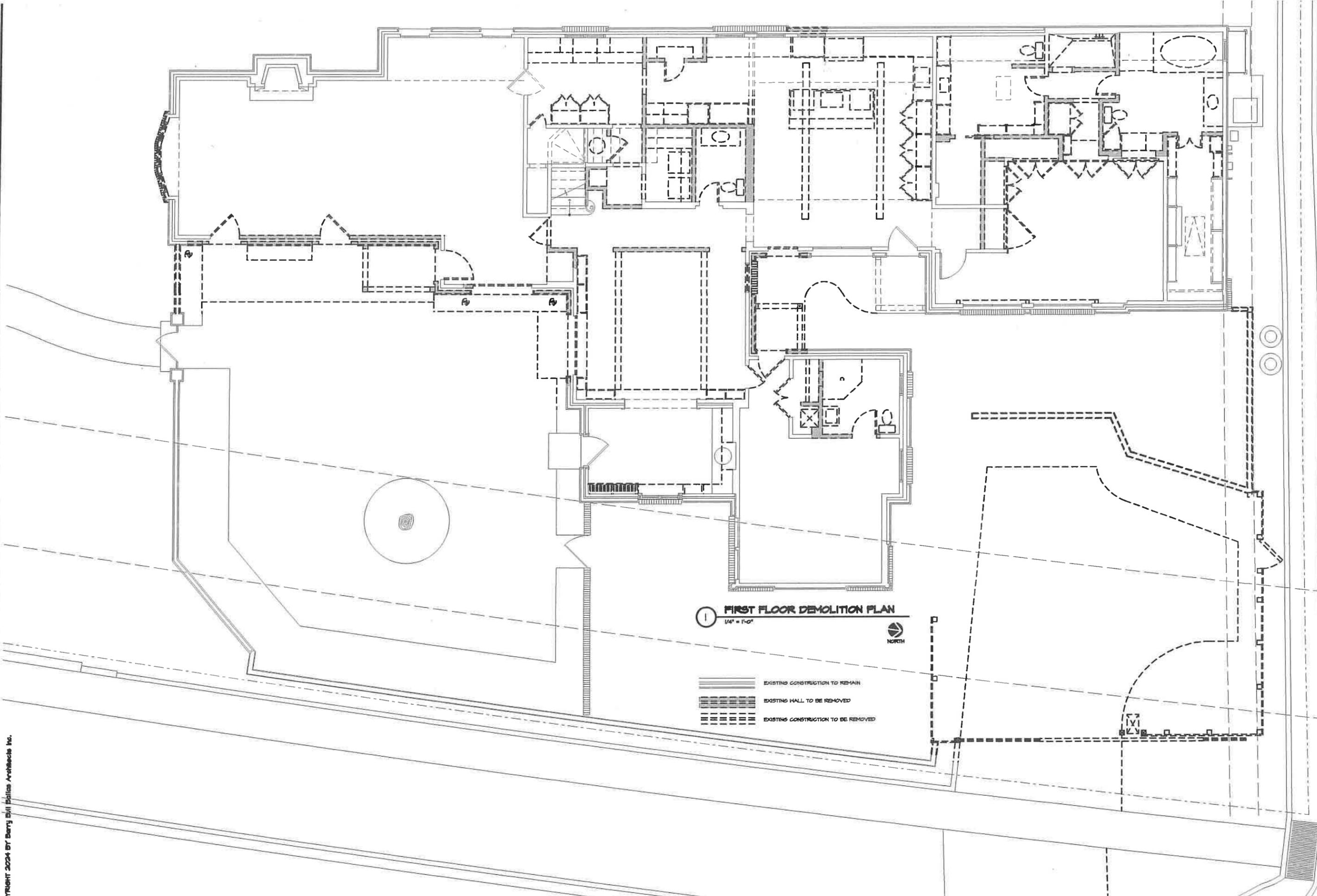


Jeff Dallas  
12/11/28

**4500 Bordeaux Avenue**  
Dallas Texas



114 221 2778 6



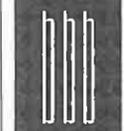
1 FIRST FLOOR DEMOLITION PLAN  
 1/4" = 1'-0"

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING WALL TO BE REMOVED
-  EXISTING CONSTRUCTION TO BE REMOVED

Address  
 4500  
 Bordeaux  
 Avenue  
 Dallas  
 TX 75244  
 Revisions



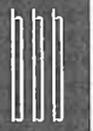
4500 Bordeaux Avenue  
 Dallas Texas



barrybilldallas  
 214 521 5778



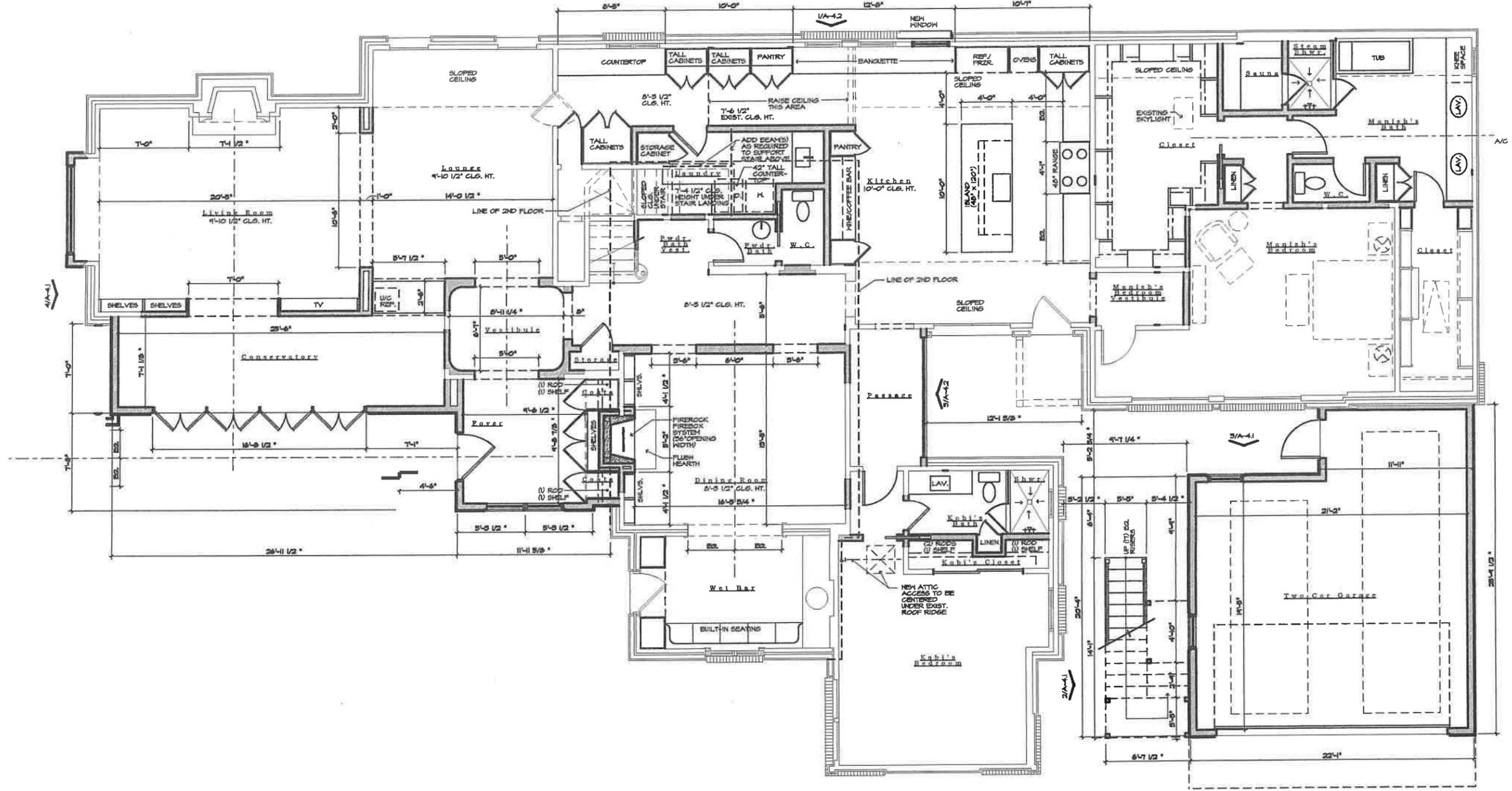
4500 Bordeaux Avenue  
Dallas Texas



barrybulldallas

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12/11/24  
12/11/24

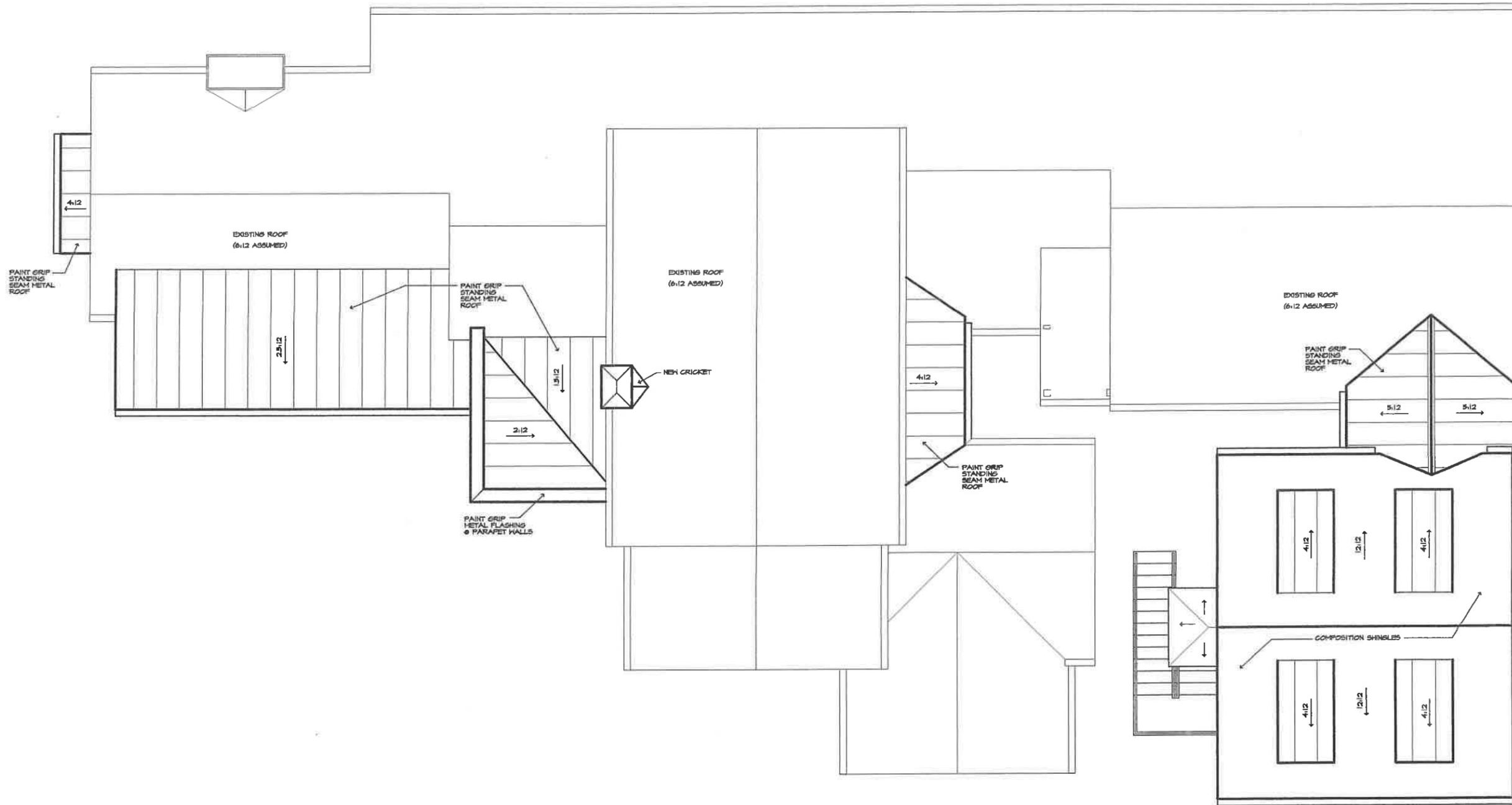
214 521 0770



1 FIRST FLOOR NEW CONSTRUCTION PLAN  
1/4" = 1'-0"







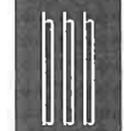
1 ROOF PLAN  
1/4" = 1'-0"

Address  
4500  
Bordeaux  
Avenue  
Date  
12/11/24  
Revisions



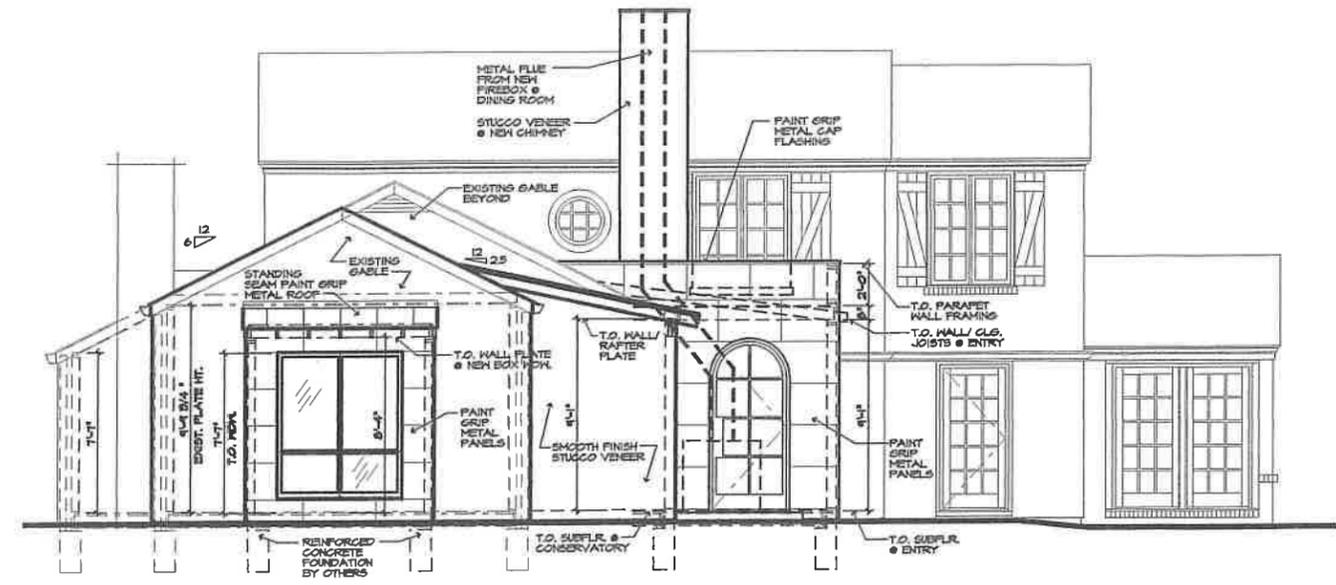
Jeff Dallas  
12/11/24

4500 Bordeaux Avenue  
Dallas Texas

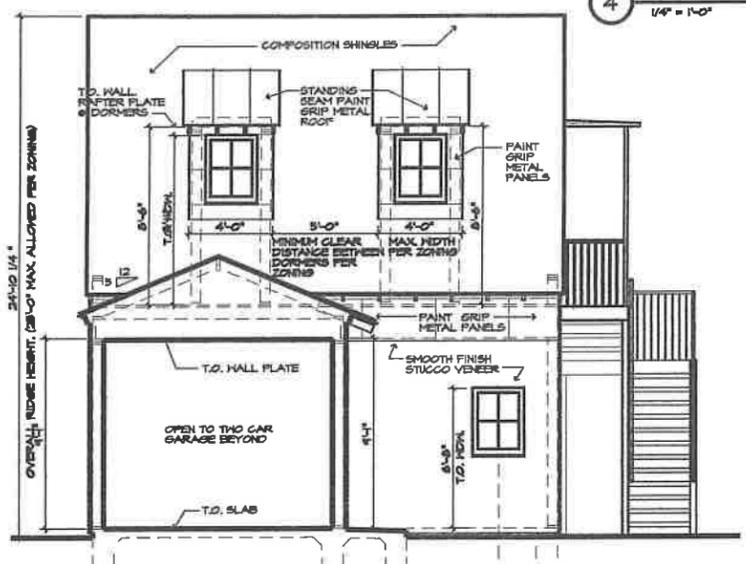


barrybulldallas

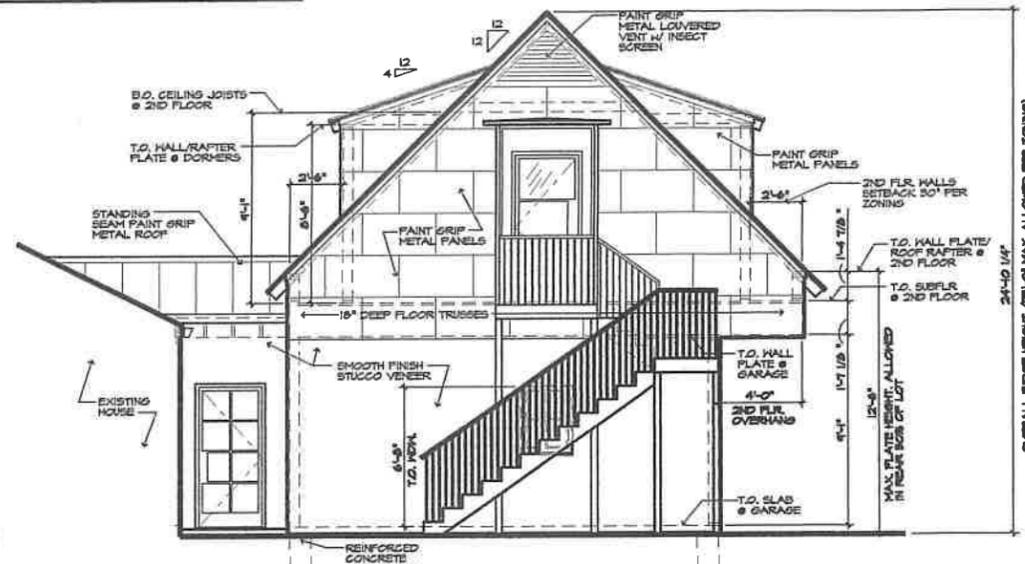
West Loop  
214.521.2726



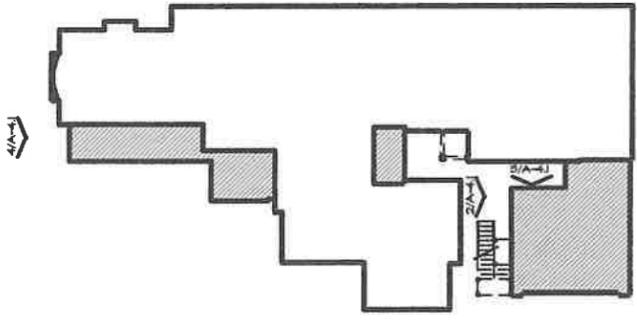
4 SOUTH ELEVATION (BORDEAUX)  
1/4" = 1'-0"



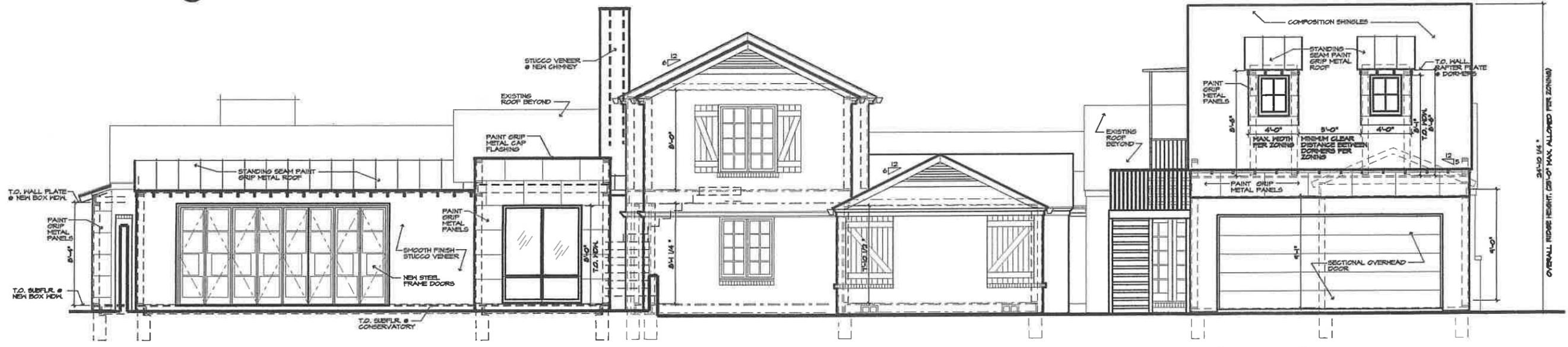
3 WEST ELEVATION (GARAGE)  
1/4" = 1'-0"



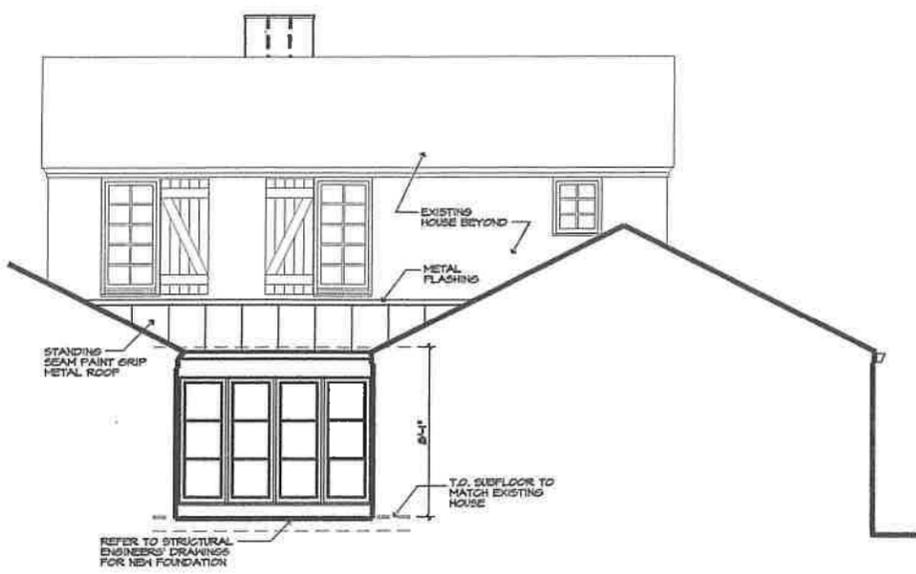
2 SOUTH ELEVATION (GARAGE)  
1/4" = 1'-0"



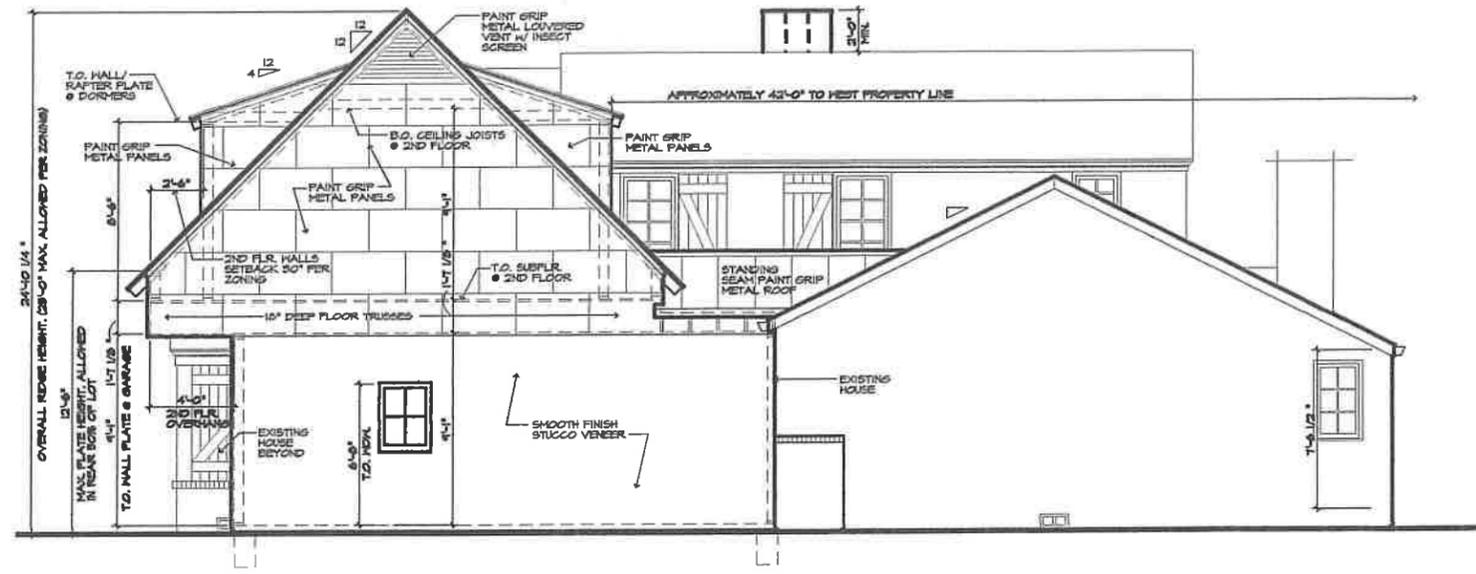
KEY PLAN  
1/4" = 1'-0"



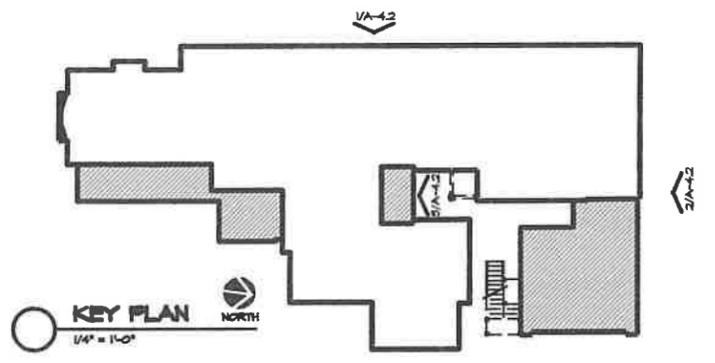
1 EAST ELEVATION (LOMO ALTO)  
1/4" = 1'-0"



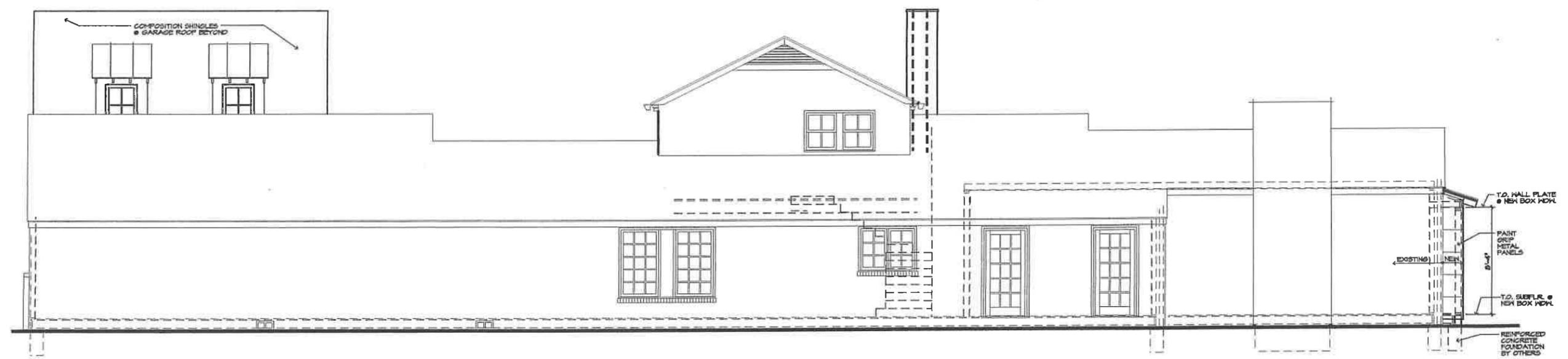
3 NORTH ELEVATION (COURTYARD)  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



KEY PLAN  
1/4" = 1'-0"



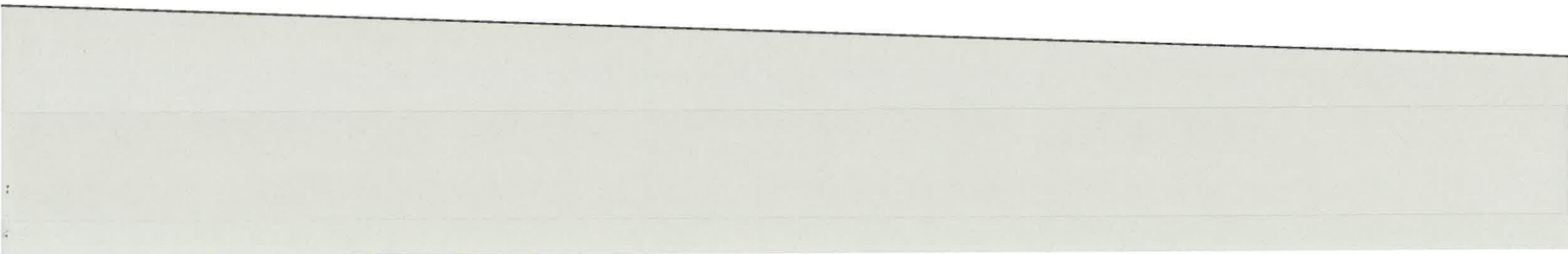
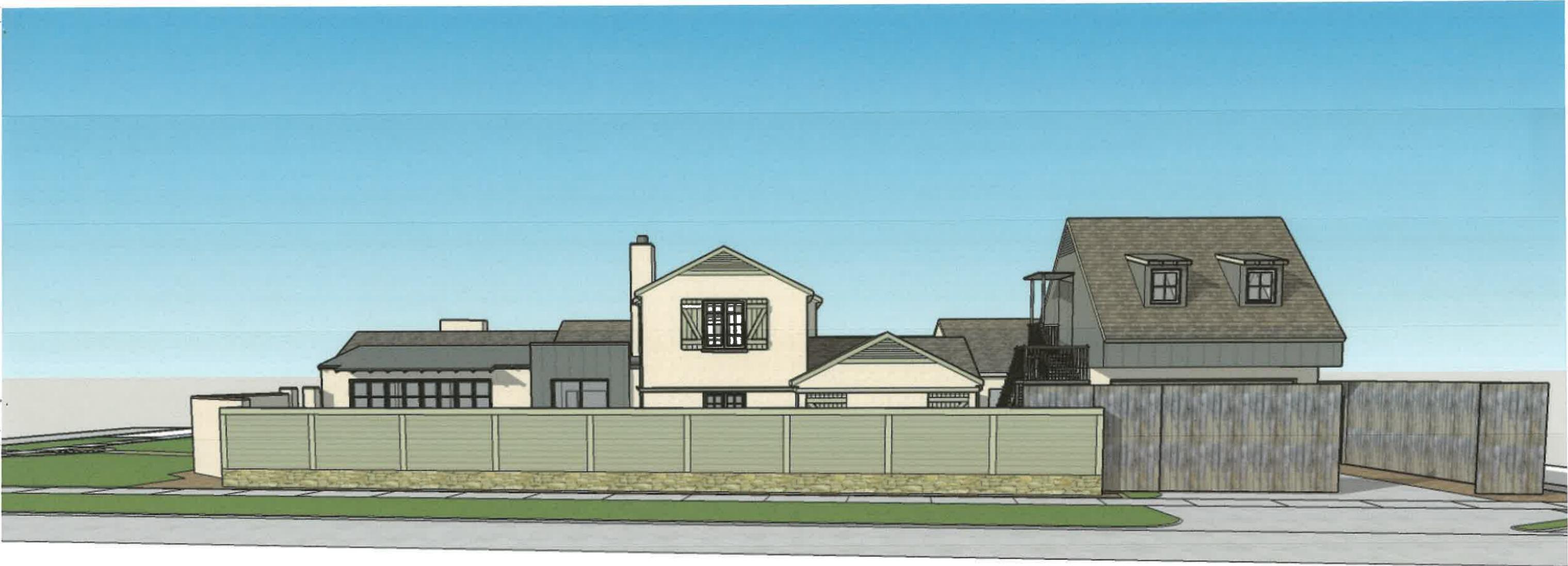
1 WEST ELEVATION  
1/4" = 1'-0"

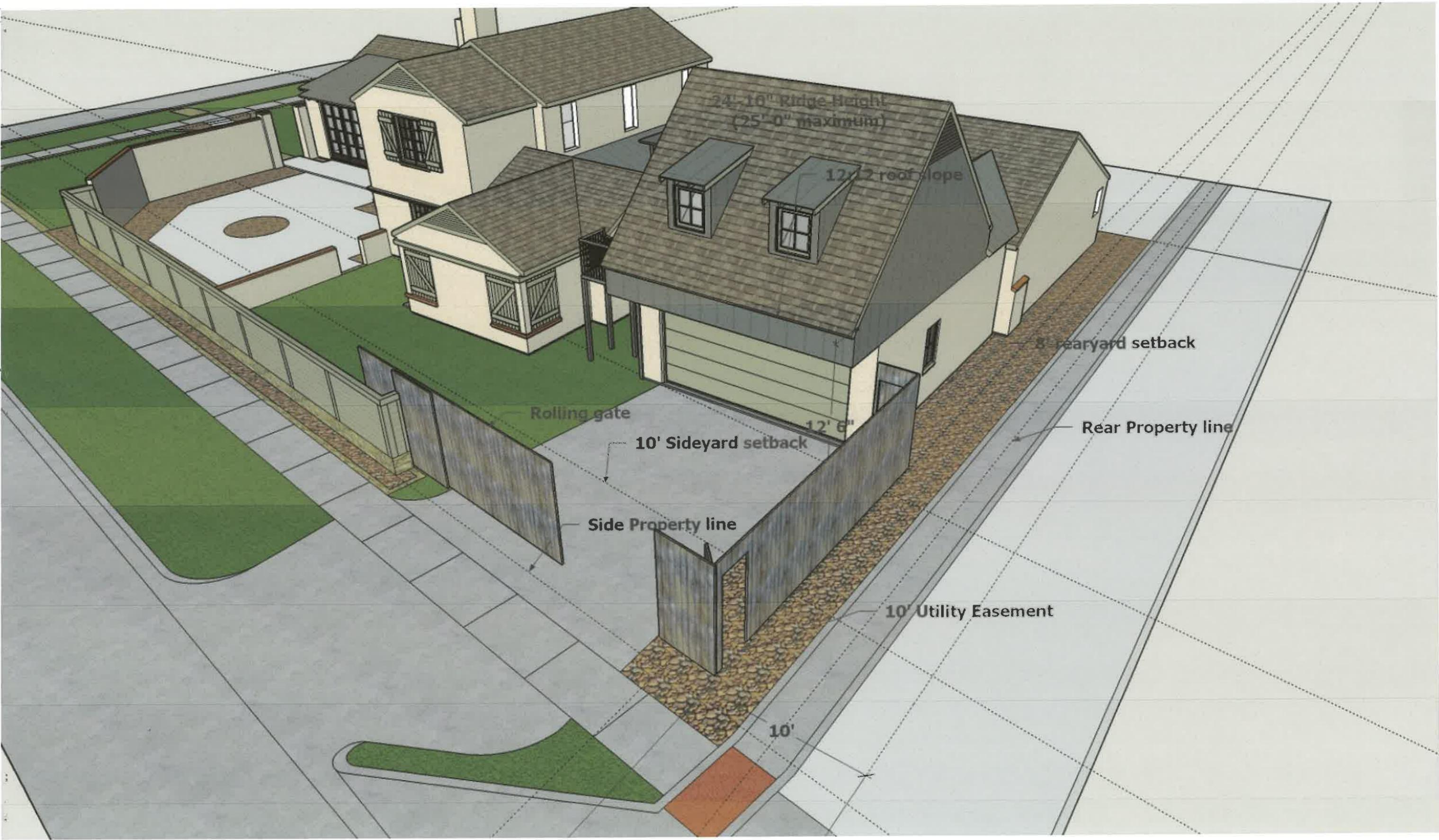


4500 Bordeaux Avenue  
Dallas Texas

barrybull Dallas  
V.01  
L.0002  
D.0100  
7.21.24







24'-10" Ridge Height  
(25'-0" maximum)

12/12 roof slope

8' rear yard setback

Rear Property line

10' Sideyard setback

Rolling gate

Side Property line

10' Utility Easement

10'

12' 6"

24'-10" Ridge Height  
(25'-0" maximum)

12:12 roof slope

Rolling gate

10' Utility Easement

8' rear

Rear Property line



