



Town of Highland Park, Texas

**PUBLIC HEARING
Board of Adjustment**

AGENDA

8:30 A.M.
Wednesday, October 9, 2024

4700 Drexel Drive
Town Council Chambers

I. CALL TO ORDER

II. MINUTES

III. PUBLIC HEARINGS

Conduct a public hearing and consider a variance from Section 12-101(2)(a) to construct guest quarters above an existing 2-car garage at 3502 Gillon Avenue in the required side yard at 8:30 a.m. on Wednesday, October 9, 2024. Section 12-101(2)(a) of the Zoning Ordinance states that all detached accessory buildings must be not less than three (3) feet from any side lot line, alley line or easement line. The proposed addition to the detached structure states a 13" side setback from the East property line and a 0.8' side setback from the West property line will remain the same, therefore resulting in construction of an addition to the existing non-conforming structure.

IV. ADJOURNMENT

A member of the public may address the governing body regarding an item on the agenda either before or during the body's consideration of the item, upon being recognized by the presiding officer or the consent of the body.

SPECIAL ACCOMMODATIONS FOR TOWN COUNCIL MEETINGS: Let us know if you need special assistance of any kind. Please contact the Town of Highland Park Administrative staff at (214) 521-4161 from 7:30 a.m. to 4:30 p.m., Monday through Friday.

MINUTES OF A MEETING OF THE BOARD OF ADJUSTMENT OF THE TOWN OF HIGHLAND PARK, TEXAS, HELD AT THE TOWN HALL, 4700 DREXEL DRIVE, HIGHLAND PARK, TEXAS, 75205, AT 8:30 A.M. ON WEDNESDAY, AUGUST 14, 2024.

Present at the meeting were Stacey Furst, Chair, Board Members Joan Clark and Jim Yoder and Alternates Louis Morrison and Nancy Rogers. Absent from the meeting were Board Members Alison Hunsicker and Robert McCulloch. Susan Thomas, Town Attorney, was also present.

Stacey Furst introduced herself, and called the meeting to order at 8:31 a.m. Chelsey Gordon, Interim Director of Development Services, introduced herself and any Town staff present for the meeting.

CONSENT AGENDA

On a motion by Jim Yoder, seconded by Joan Clark, the Board voted unanimously to approve Items A and B. Prior to the vote, it was explained that the Board reviewed the item prior to the meeting.

- A. Consider approval of the minutes of the Board of Adjustment meeting held on November 8, 2023.*
- B. Consider approval of the minutes of the Board of Adjustment meeting held on July 10, 2023.*

PUBLIC HEARING – 4672 Edmondson Avenue

A public hearing was conducted to consider a variance request from Section 8-501 of the Zoning Ordinance to construct a generator at 4672 Edmondson Avenue in the required side yard. Section 8-501 states that the required side yard setback for properties located in zoning district “E” must be 10% of the lot width but not less than 5-feet or more than 8-feet. Given that the property at 4672 Edmondson Avenue is 70 feet in width, zone compliance would place the generator 7 feet from the side property line. The property owners are requesting approval to position the generator approximately 2.3 feet from the side property line.

Chelsey Gordon, Interim Director of Development Services, gave a brief presentation of the case that included the applicant’s application, land survey, the proposed placement of generator, and a site plan. Chelsey Gordon asked if there were any questions, to which there were none.

There was one letter in support of this request received by the town.

There were no letters in opposition to this request received by the Town.

No one present at the meeting spoke in support or opposition of this request.

BOARD DISCUSSION

Stacey Furst asked if there were any questions, to which there were none. On a motion made by Jim Yoder, and seconded by Joan Clark, the Board voted unanimously to approve the variance request from Section 8-501 to place a generator in the required side yard at 4672 Edmondson Avenue.

PUBLIC HEARING – 4229 Versailles Avenue

A public hearing was conducted to consider a variance request from Section 8-501 of the Zoning Ordinance to construct a generator at 4229 Versailles Avenue in the required side yard. Section 8-501 states that the required side yard setback for properties located in zoning district “D” must be 10% of the lot width but not less than 5-feet or more than 10-feet. Given that the property at 4229 Versailles Avenue is 75 feet in width, zone compliance would place the generator 7.5 feet from the side property line. The property owners are requesting approval to position the generator approximately 4 feet from the side property line.

Chelsey Gordon, Interim Director of Development Services, gave a brief presentation of the case that included the application, land survey, the proposed placement of generator, and a site plan. Chelsey Gordon asked if there were any questions, to which there were none.

There was one letter in support of this request received by the town.

There were no letters in opposition to this request received by the Town.

No one present at the meeting spoke in support or opposition of this request.

BOARD DISCUSSION

Stacey Furst asked if there were any questions, to which there were none. On a motion made by Joan Clark, and seconded by Jim Yoder, the Board voted unanimously to approve the variance request from Section 8-501 to place a generator in the required side yard at 4229 Versailles Avenue.

ADJOURNMENT

Joan Clark motioned to adjourn the meeting, and Louis Morrison seconded the motion. The Board voted unanimously to end the meeting, and adjourned at 8:41 a.m.

Approved on this 9th day of October 2024.

APPROVED:

Stacey Furst
Chair

ATTEST:

Sofia Tarango
Administrative Assistant

MAYOR
William C. Beecherl

MAYOR PRO TEM
Don Snell

TOWN ADMINISTRATOR
Tobin E. Maples, AICP



TOWN COUNCIL
MEMBERS

Alan Friedman

Marc Myers

Lydia Novakov

Leland White

October 2, 2024

BOARD OF ADJUSTMENT MEMBERS

Stacey Furst, Chair
Joan Clark
Alison Hunsicker
Robert McCulloch
Jim Yoder
Louis Morrison, Alternate Member
Nancy Rogers, Alternate Member

Dear Board Members,

The Board of Adjustment will conduct a public hearing at 8:30 a.m. on Wednesday, October 9, 2024, and consider a variance from Section 12-101(2) to construct guest quarters above an existing two-car garage at 3502 Gillon Avenue in the required side yards. Section 12-101(2)(a) of the Zoning Ordinance states that the required side yard setback for detached accessory buildings shall not be less than three (3) feet from any side lot line. The proposed construction to the detached structure states the 13-inch side setback from the east property line and 0.8-foot side setback from the west property line will remain the same, therefore resulting in construction of a non-conforming structure. The property owners request to construct guest quarters above the existing 2-car garage consistent with the current side setbacks.

The applicant proposes to construct guest quarters above an existing garage. Typically, new construction is required to meet the current minimum setbacks as set forth in the Zoning Ordinance. In this case the new construction is above the existing garage and no closer to the side property lines than the existing garage structure.

There are seven lots along this portion of Gillon Avenue that are unique in that they are unusually narrow and share one large concrete area that serves as entry to their garages from the alley. All properties that share this area have detached garages that do not meet the three-foot side setback requirement. Some of the existing garage structures are two-stories and some are single-story.

The agenda, application, and meeting details are available on the Town's website www.hptx.org by clicking on the "Board of Adjustment" webpage.

Enclosed is a copy of: (i.) the application to the Board, including plans, photos and the property survey (ii.) the public hearing notice map, and (iii.) an aerial map of the property and surrounding area.

Feel free to contact me at your convenience if you have any questions.

Sincerely,
Jeff Armstrong, AICP
Director of Community Development
jarmstrong@hptx.org

cc: Will Beecherl, Mayor, via e-mail
Tobin Maples, Town Administrator, via e-mail
Steve Alexander, Assistant Town Administrator, via e-mail
Susan Thomas, Town Attorney, via e-mail
Joanna Mekeal, Town Secretary, via e-mail

MAYOR
William C. Beecherl

MAYOR PRO TEM
Craig Penfold

TOWN ADMINISTRATOR
Tobin E. Maples, AICP



TOWN COUNCIL
MEMBERS
Marc Myers
Lydia Novakov
Don Snell
Leland White

BOARD OF ADJUSTMENT (“BOA”) / PLANNING REVIEW BOARD **2024 FILING AND PROCESS SCHEDULE**

All BOA meetings will begin at 8:30 a.m., unless otherwise noted.

Location:
Town Council Chambers, Town Hall
4700 Drexel Drive
Highland Park, TX 75205

The application (Appeal to the Board of Adjustment), attachments, and fee must be turned in on or before the application deadline. A filing fee of \$200.00 is required.

Application Deadline	Meeting Date
Dec 1, 2023	Jan 10, 2024
Jan 5, 2024	Feb 14, 2024
Feb 2, 2024	Mar 13, 2024
Mar 1, 2024	Apr 10, 2024
Apr 5, 2024	May 8, 2024
May 3, 2024	June 12, 2024
Jun 7, 2024	July 10, 2024
Jul 5, 2024	Aug 14, 2024
Aug 2, 2024	Sep 11, 2024
Sep 6, 2024	Oct 9, 2024
Oct 4, 2024	Nov 13, 2024
Nov 1, 2024	Dec 11, 2024
Dec 6, 2024	Jan 8, 2025

Note: Agendas are posted on the official bulletin board at the Department of Public Safety Dispatch Office, 4700 Drexel Drive, at the St. Johns Drive Library Entrance, and on the Town’s website 72 hours prior to meeting.

THE TOWN OF
Highland Park
TEXAS

4700 Drexel Drive, Highland Park, TX 75205
214-521-4161 office 214-559-9335 fax

Department of Building Inspection

Items required to apply for an appeal to the Board of Adjustment:

- Pre-Application meeting with Department Staff to review plan submittal requirements;
- Application for Building Permit and related plans;
- Application for Board of Adjustment (BOA) completed and signed by *Property Owner*. (For **Jurisdiction**: described the hardship of the property/building site, how it differs from other properties in its zoning district and why it cannot be appropriately developed without such a variance as being requested. If necessary, then please utilize additional page(s) in letter form and address the letter to the attention of the “Members of the Board of Adjustment”);
- BOA Application fee (\$200.00);
- Two (2) copies of plans (11"X17"max);
- One (1) copy of plans to scale (24"x36"max);
- Plans to include site plan (w/existing & required setbacks shown), floor plans, exterior elevations all with dimensions;
- Copy of site survey with R.P.L.S. seal.

All of the above items must be presented to the Building Department at one time to begin the process of appeal.

Should you have any questions please call our office Monday through Friday 7:30AM-4:30PM, (214)521-4161.

Sincerely,

Hugh Pender
Director of Development Services
hpender@hptx.org

THE TOWN OF
Highland Park
TEXAS

4700 Drexel Drive, Highland Park, TX 75205
214-521-4161 office 214-559-9335 fax

Department of Building Inspection

While nothing can guarantee that your project will be approved, the following tips may help facilitate the Board of Adjustment public hearing process:

- Contact the adjacent neighbors (within a min. 200 ft from your property) during conceptual design to receive feedback, interests, or concerns for the proposed project.
- Prior to the required city notification of the submitted application, invite the adjacent neighbors to comment on the design.
- Provide city contact information to all neighbors so that they may comment publicly about the project.
- Provide clean, detailed and legible plan documents for review.
- Provide an artistic rendering of the proposed structure.

**APPEAL TO THE BOARD OF ADJUSTMENT
TOWN OF HIGHLAND PARK**

(Please Type or Print)

ADDRESS _____ Owner's Name _____

LEGAL DESCRIPTION: Lot(s) _____ Block _____ Addition _____

Mailing Address _____

City _____ State _____ Zip Code _____

1. Request:

2. Jurisdiction: [Applicant has reviewed Section 17-200 a,b, and c of the Highland Park Zoning Ordinance (copy attached) and is of the opinion that the Board of Adjustment has jurisdiction for the following reason(s)]

Additional information submitted by applicant _____

Fee Paid _____ Date _____ Phone _____

3. Signature of Owner _____

(To be completed by Building Inspection Department)

Reason for denial: _____
Explanation: _____ Section _____

Building Inspector

Date



ERIC LAPOINTE
ARCHITECT
 414.477.9402
 evlapointe@yahoo.com

3502
GILLON AVE.
DALLAS, TX.
75205

REVISIONS

PROJECT TITLE
 GILLON RESIDENCE
 LOT 16F, BLOCK 87

DATE
 06.28.2024

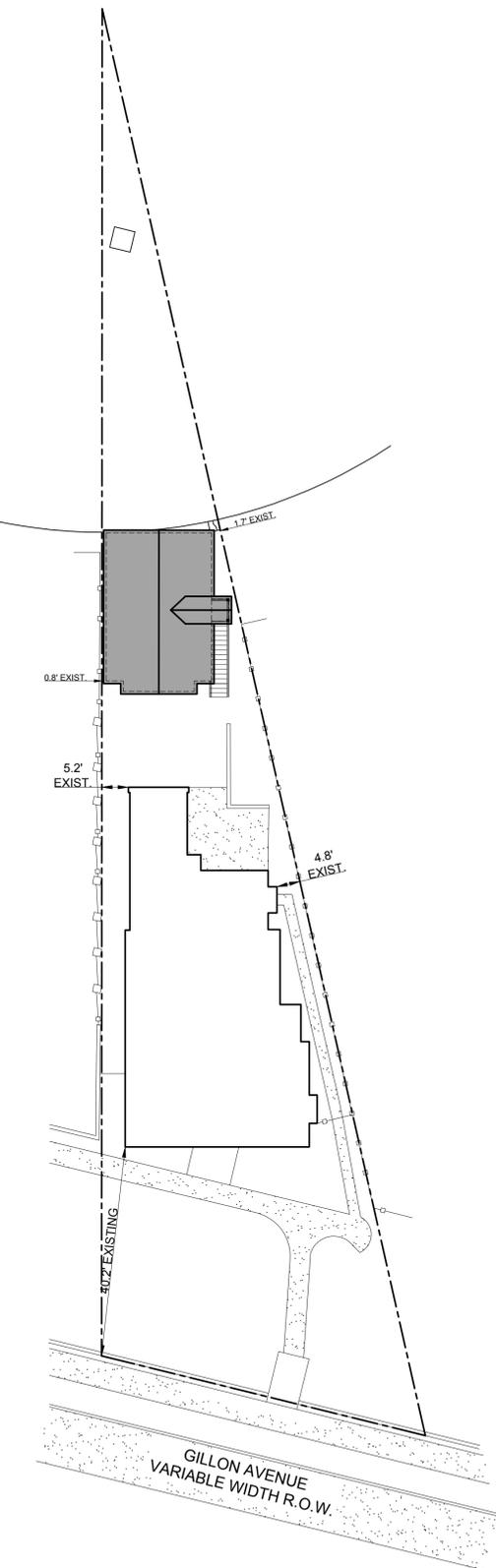
ISSUE
 PERMIT SET

SHEET TITLE
 SITE PLAN

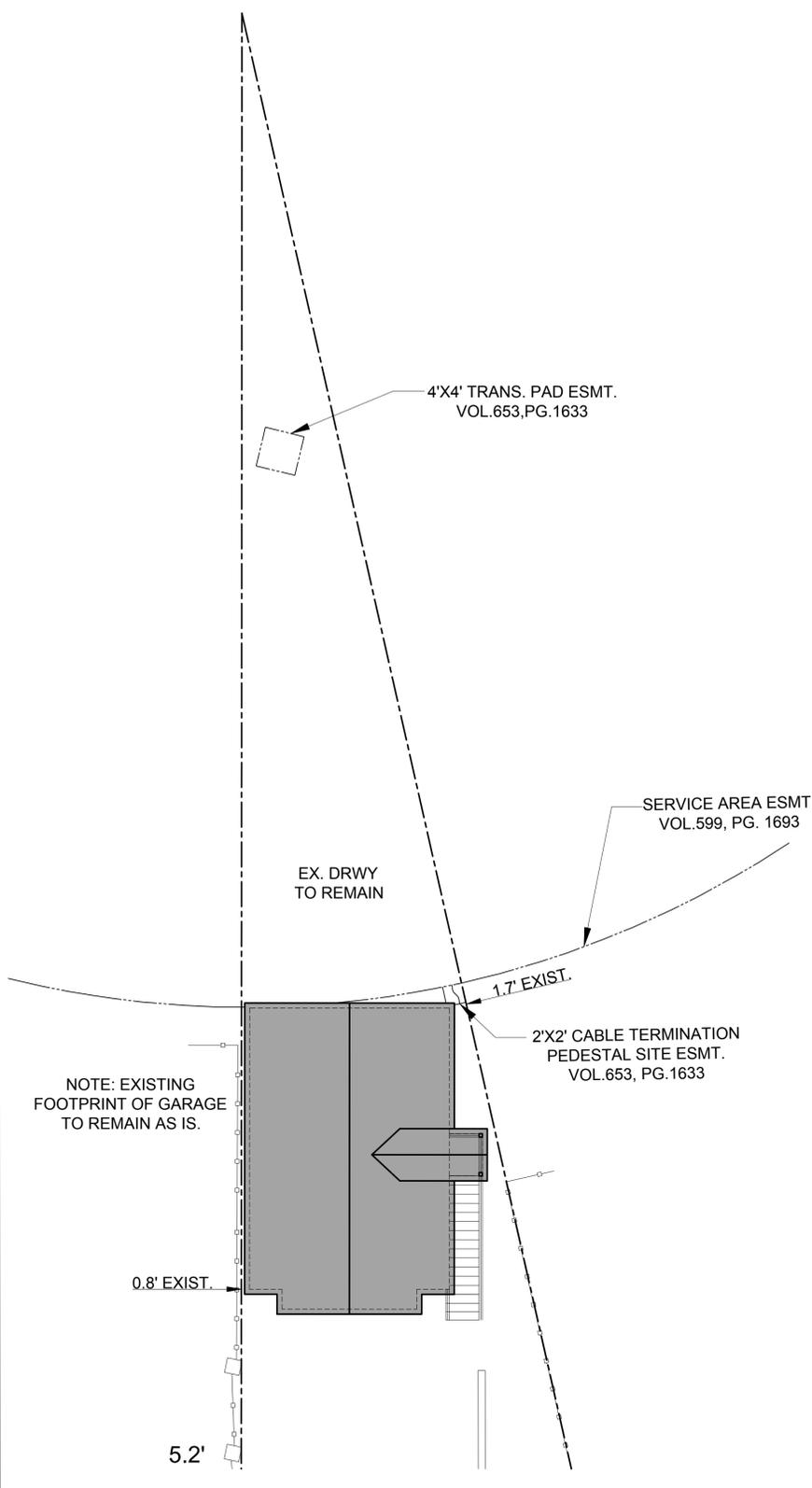
SHEET NO. **1.0**

SHEET INDEX	
NO.	DESCRIPTION
1.0	SITE PLAN / GENERAL NOTES
2.0	FLOOR PLANS AND SCHEDULES
3.0	EXTERIOR ELEVATIONS AND ROOF PLAN
E1.0	ELECTRICAL PLAN

LEGAL DESCRIPTION	GENERAL NOTES																	
<p>PROPERTY LOCATED AT NO. 3502 GILLON AVENUE IN THE CITY OF HIGHLAND PARK, TEXAS, BEING LOT 16F, BLOCK NO. 87, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 999, AT PAGE 1949, OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS.</p>	<p>FOR DEMOLITION PURPOSES:</p> <ol style="list-style-type: none"> THE PURPOSE OF THE DEMOLITION PLANS IS TO IDENTIFY THE GENERAL NATURE OF THE DEMOLITION SCOPE. THE GC IS RESPONSIBLE FOR VISITING THE SITE AND VERIFYING THE EXISTING CONDITIONS. THE GC SHALL INFORM THE DESIGNER OF ANY DISCREPANCIES ASSOCIATED WITH THE DEMOLITION SCOPE OF WORK AND NEW CONSTRUCTION. THE GC SHALL CONSULT WITH STRUCTURAL ENGINEER BEFORE DEMOLITION OF ANY STRUCTURAL MEMBERS. THE GC SHALL PROTECT ALL EXISTING FINISHES, DOORS, FRAMES, AND WINDOWS FROM ANY DAMAGE DUE TO THE DEMOLITION SCOPE OF WORK. PATCH AND REPAIR ALL EXISTING CEILINGS, PARTITIONS, AND FLOORS DISTURBED FOR NEW WORK AND FINISH. THE GC SHALL PROTECT ALL INTERIOR SPACES FROM DAMAGE DUE TO WEATHER. THE GC SHALL BE RESPONSIBLE FOR REPLACING/REPAIRING ANY DAMAGE DUE TO THE WEATHER. THE GC IS TO MAINTAIN A SEPARATION BETWEEN AREAS WITHIN THE SCOPE OF WORK AND THE AREAS OUTSIDE THE SCOPE OF WORK BY PROVIDING PLASTIC SHEATHING BETWEEN CONTIGUOUS SPACES. DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIAL LEGALLY FROM THE SITE. COMPLY WITH ALL LOCAL HAULING AND DISPOSAL REQUIREMENTS. <p>FOR DIMENSIONAL & FRAMING PURPOSES:</p> <ol style="list-style-type: none"> DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS: NOTIFY DESIGNER OF ANY DISCREPANCIES. PLAN DIMENSIONS ARE TO FACE OF FINISH OR EXTERIOR FACE OF BRICK/FOUNDATION LINE. CEILING HEIGHT NOTED FOR EACH ROOM IS TO FINISHED FACE OF CEILING. ALL FRAMING SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2015 EDITION. ALL WOOD FRAMING SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA, THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND SHALL MEET THE REQUIREMENTS OF THE IRC. ALL FRAMING SHALL BE COORDINATED WITH HVAC DUCTS, ELECTRICAL, AND PLUMBING REQUIREMENTS. WOOD STUD WALLS: TO BE COORDINATED WITH STRUCTURAL. EXTERIOR WOOD STUD/BRICK ASSEMBLY: 9" W / 2X4'S, 11" W / 2X6'S, 13" W / 2X8'S. EXTERIOR WOOD STUD/SIDING ASSEMBLY: 6" W / 2X4'S, 8" W / 2X6'S. INTERIOR WOOD STUD 2X4 WALLS DIMENSIONED AS 4-1/2" AND INTERIOR WOOD STUD 2X6 WALLS DIMENSIONED AS 6-1/2". EXCEPTION: FLAT STUD DIMENSIONED 2" THICK AND OVER 6" THICK DIMENSIONED FINISH TO FINISH. WINDOWS NOTED ON PLANS NEED TO BE VERIFIED BY FRAMER BEFORE FRAMING TO MAKE SURE WINDOWS ORDERED, AND CURRENT MANUFACTURER'S DIMENSIONS ARE ACCURATELY NOTED. WINDOWS SPECIFIED NEED TO BE CHECKED BY THE GC TO BE SURE CURRENT MANUFACTURING DIMENSIONS MEET EGRESS REQUIREMENTS IN ALL BEDROOMS. REFER TO POCKET DOOR FRAME KIT FOR INSTALLATION INSTRUCTIONS TO DETERMINE ROUGH OPENING OF POCKET DOOR. ALL GWB SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE. CROSS REFERENCE EXTERIOR ELEVATIONS WITH WALL SECTIONS AND FASCIA DETAILS TO DETERMINE WALL PLATE HEIGHTS. NOTE: HEAD HEIGHTS VARY- SEE ELEVATIONS. REFER TO EXTERIOR ELEVATIONS AND FLOOR PLANS, OR WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS. DIMENSIONS ARE TO FACE OF CABINETS AND DOES NOT INCLUDE ANY OVERHANG AT COUNTERTOPS. VERIFY FIREPLACE SIZES, INCLUDING HEARTH EXTENSIONS REQUIRED BY CODE. SEE INTERIOR ELEVATIONS FOR SIZING. AT ALL EAVE AND FASCIA CHANGES VERIFY WITH DESIGNER IF NO DETAIL IS PROVIDED. 																	
<p>SQUARE FOOTAGE CALCULATIONS</p> <p>MAIN HOUSE TOTAL A/C=3,133 SQ. FT.</p> <p>ACCESSORY STRUCTURE ALLOWED 25% OF 3,133 SQ. FT. OR 783.25 SQ. FT.</p> <p>464.6 SQ. FT. NEW A/C AT 2ND STORY ABOVE GARAGE</p> <p>525 SQ. FT. EXIST. GARAGE</p>																		
<p>LOT COVERAGE</p> <p>LOT = 7,598 SQ. FT. ALLOWED 45% OR 3,414.6 SQ. FT. TOTAL COVERAGE = 2858.1 SQ. FT. OR 38%</p>																		
<p>ENERGY REQUIREMENTS</p> <p>BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE.</p>																		
<p>GREEN PHASE II NOTES</p> <p>PLUMBING:</p> <ol style="list-style-type: none"> ALL LAVATORY FAUCETS IN ADDITION AND REMODELED AREA TO BE MOEN BRANTFORD T6620 1.5 GPM FLOW RATE ALL SHOWERHEADS IN ADDITION AND REMODELED AREA TO BE MOEN 6300 EP- FLOW RATE 1.75 GPM ALL TOILETS IN ADDITION AND REMODELED AREA TO BE AMERICAN STANDARD EVOLUTION ROUND TWO PIECE TOILET 1.28 GPF <p>HVAC:</p> <ol style="list-style-type: none"> AIR FILTERS WILL BE MERV 8 OR GREATER AIR FILTER HOUSING WILL BE AIR TIGHT AIR HANDLERS WILL BE SIZED TO MAINTAIN AIR PRESSURE AND AIR FLOW <p>ROOF:</p> <ol style="list-style-type: none"> ANY ROOF GREATER THAN 2:12 WILL USE ENERGY STAR QUALIFIED ROOFING MATERIALS. A PROPERLY INSTALLED RADIANT BARRIER IS CONSIDERED A COOL ROOF. FOAM ENCAPSULATION CAN BE USED AS AN ALTERNATE TO ENERGY STAR QUALIFIED ROOF. <p>SPACES ADJACENT TO GARAGE</p> <ol style="list-style-type: none"> PENETRATIONS MUST BE SEALED DOORS WEATHER STRIPPED CRACKS AT WALL BASE MUST BE SEALED <p>SPACES ABOVE THE GARAGE</p> <ol style="list-style-type: none"> PENETRATIONS MUST BE SEALED FLOOR AND CEILING JOIST BAYS MUST BE SEALED WALLS & CEILINGS OF CONDITIONED SPACE TO BE PAINTED 																		
<p>SYMBOLS</p> <table border="0"> <tr> <td></td> <td>EXTERIOR ELEVATION TAG</td> </tr> <tr> <td></td> <td>SECTION TAG</td> </tr> <tr> <td></td> <td>INTERIOR ELEVATION TAG</td> </tr> <tr> <td></td> <td>DOOR TAG</td> </tr> <tr> <td></td> <td>WINDOW TAG</td> </tr> <tr> <td></td> <td>INDICATES COLD WATER LINE FOR ICE MAKER OR REFRIGERATOR</td> </tr> <tr> <td></td> <td>INDICATES GAS SUPPLY</td> </tr> <tr> <td></td> <td>INDICATES GAS KEY</td> </tr> <tr> <td></td> <td>INDICATES FROST FREE HOSE BIB</td> </tr> </table>		EXTERIOR ELEVATION TAG		SECTION TAG		INTERIOR ELEVATION TAG		DOOR TAG		WINDOW TAG		INDICATES COLD WATER LINE FOR ICE MAKER OR REFRIGERATOR		INDICATES GAS SUPPLY		INDICATES GAS KEY		INDICATES FROST FREE HOSE BIB
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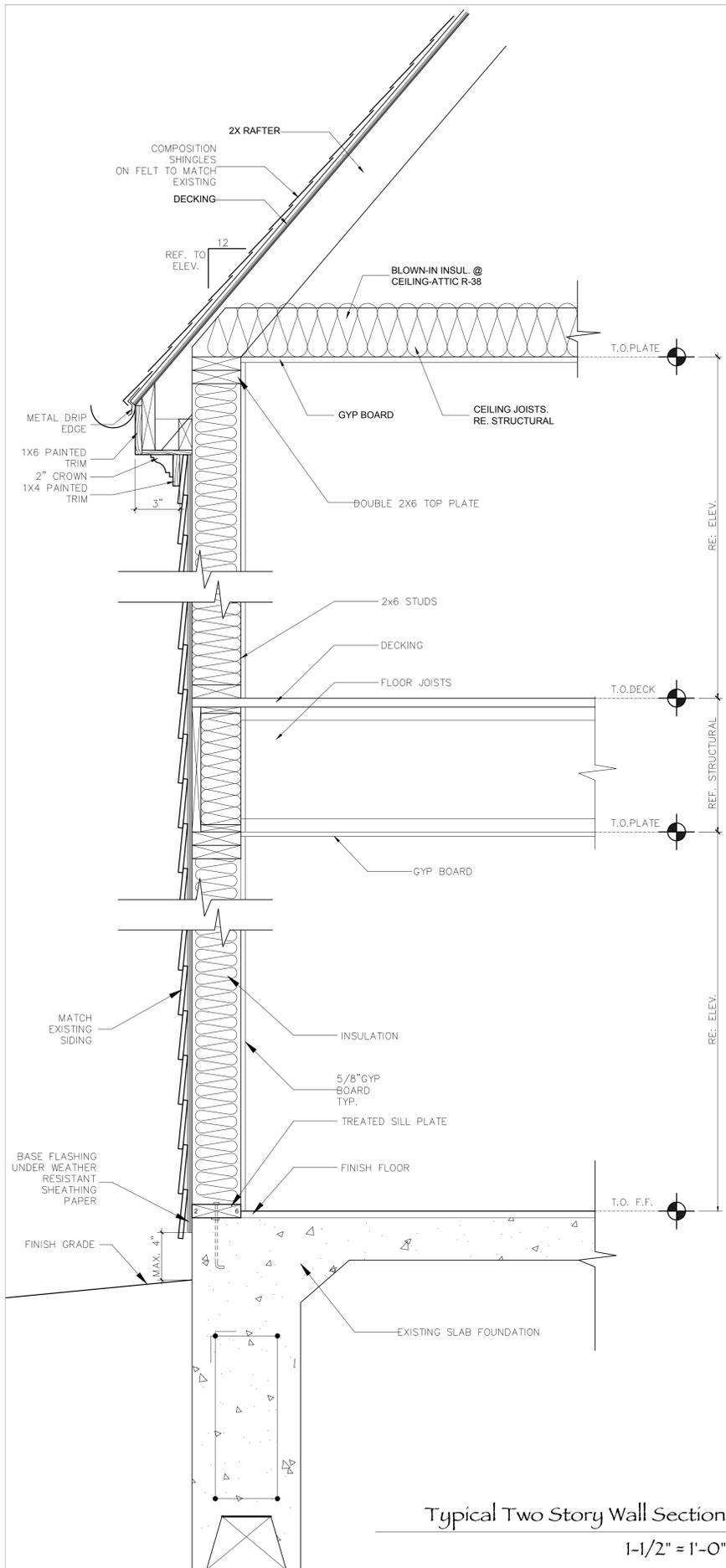


1 SITE PLAN - FOR REFERENCE ONLY
 SCALE: 1/16" = 1'-0"



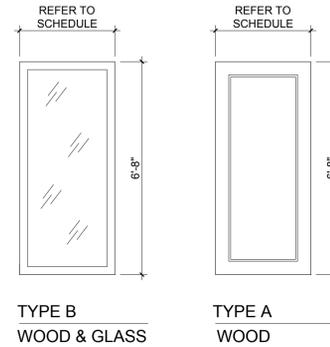
1 SITE PLAN - FOR REFERENCE ONLY
 SCALE: 1/8" = 1'-0"





Typical Two Story Wall Section
1-1/2" = 1'-0"

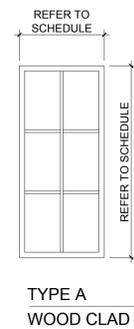
NOTE: MATCH EXISTING DOORS IN DETAILS AND MATERIALS WHERE POSSIBLE.



DOOR SCHEDULE

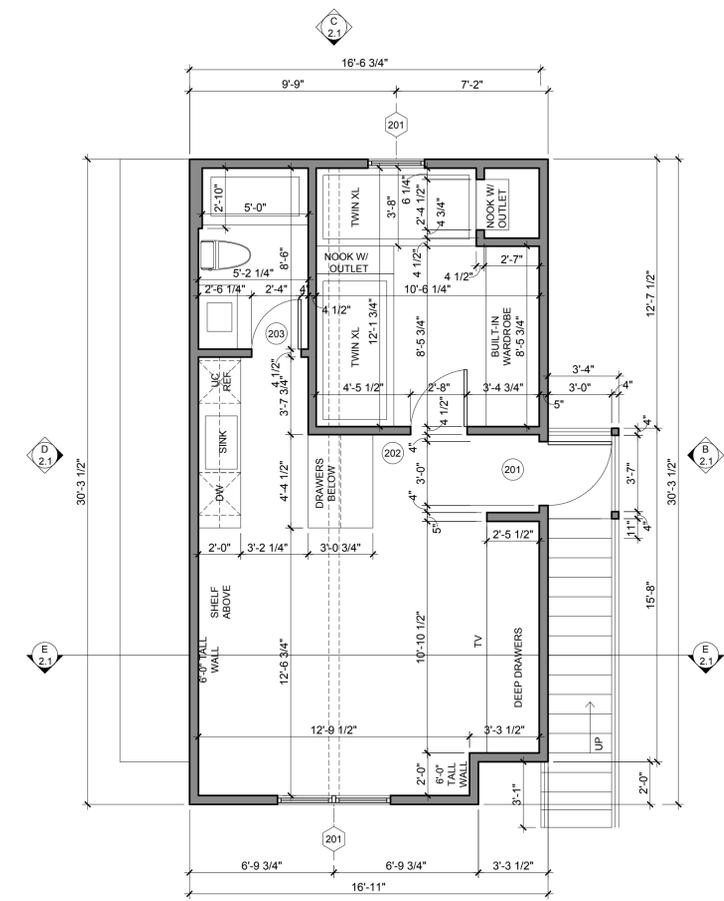
DOOR SCHEDULE - GARAGE					
NOTE: CONTRACTOR TO VERIFY ALL EXISTING DOOR SIZES PRIOR TO ORDERING					
DOOR INFORMATION - SECOND FLOOR					
SYM.	LOCATION	TYPE	SIZE	SAFETY GLZ.	NOTES
201	ENTRY	B	3'0"	NO	WOOD AND GLASS EXTERIOR DOOR
202	BEDROOM	A	2'6"	NO	
203	BATHROOM	A	2'6"	NO	

NOTE: MATCH EXISTING WINDOWS IN DETAIL AND MATERIALS WHERE POSSIBLE

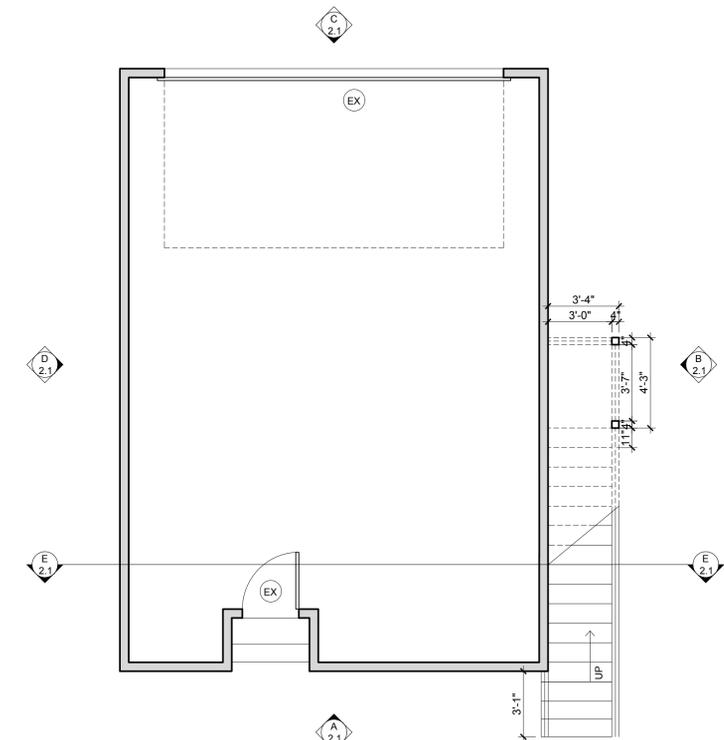


WINDOW SCHEDULE

WINDOW SCHEDULE - GARAGE							
NOTE: CONTRACTOR TO VERIFY ALL EXISTING WINDOW SIZES PRIOR TO ORDERING							
WINDOW INFORMATION - SECOND FLOOR							
SYM.	TYPE	FIXED/OPERABLE	EGRESS	SIZE	HEAD HEIGHT	SAFETY GLZ.	NOTES
201	A	FIXED	NO	(PR) 2'6"	7'	NO	2 UNITS MULLED
202	A	OPERABLE	YES	2'8"	7'	NO	



GARAGE 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



GARAGE 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



STUDIO ELITE

ERIC LAPOINTE
ARCHITECT
414.477.9402
evlapointe@yahoo.com

3502
GILLON AVE.
DALLAS, TX.
75205

REVISIONS

PROJECT TITLE
GILLON RESIDENCE
LOT 16F, BLOCK 87

DATE
06.28.2024

ISSUE
PERMIT SET

SHEET TITLE
FLOOR PLANS
SCHEDULES

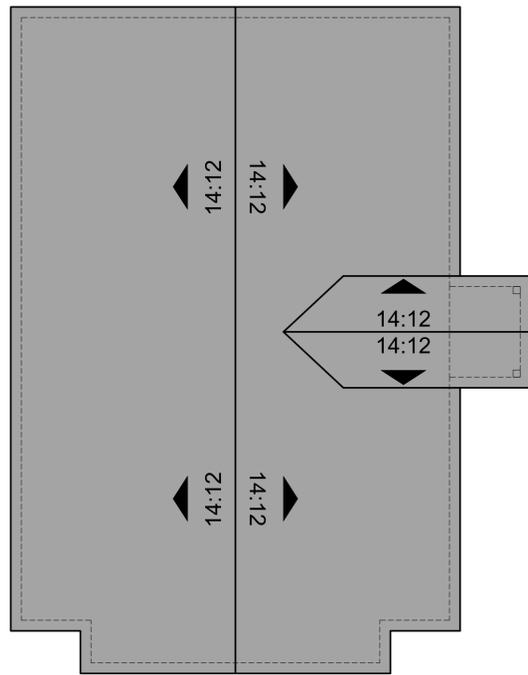
SHEET NO. **2.1**



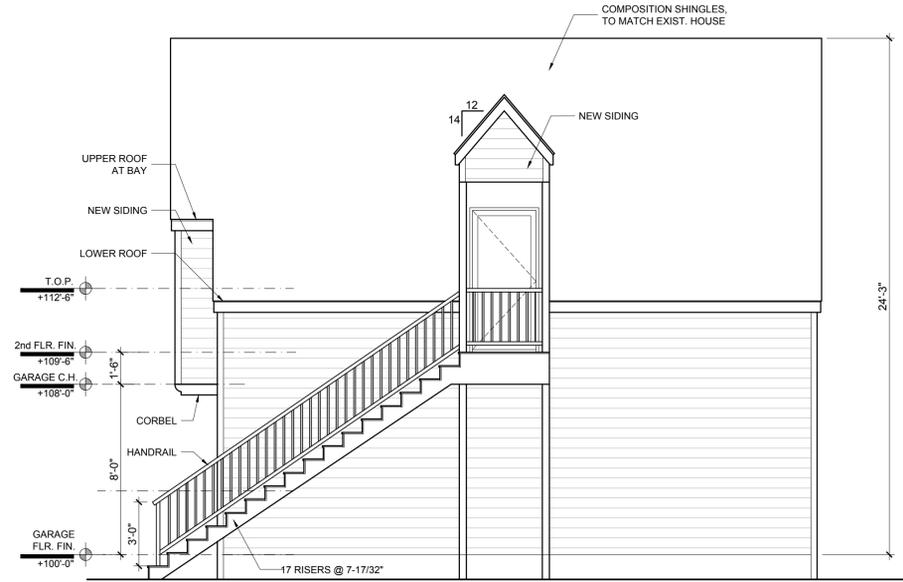
**STUDIO
ELITE**

ERIC LAPOINTE
ARCHITECT
414.477.9402
evlapointe@yahoo.com

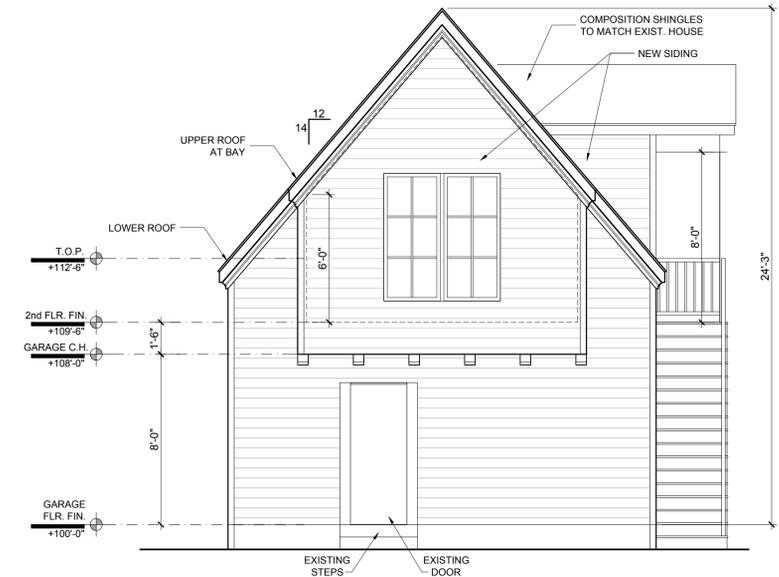
3502
GILLON AVE.
DALLAS, TX.
75205



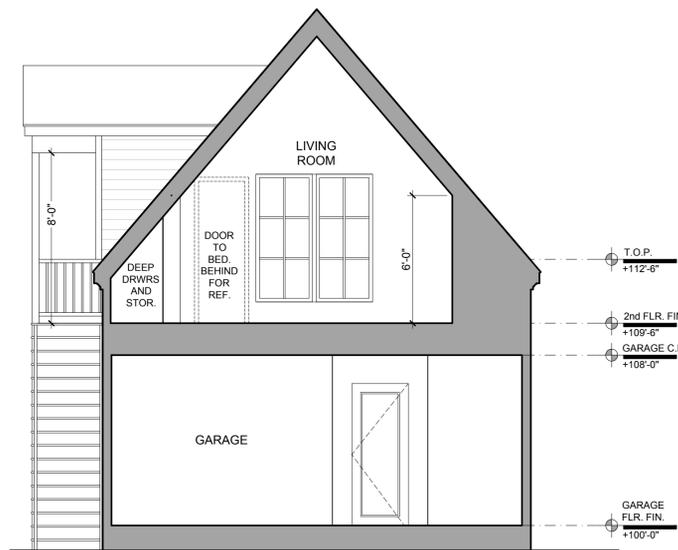
GARAGE ROOF PLAN
SCALE: 1/4" = 1'-0"



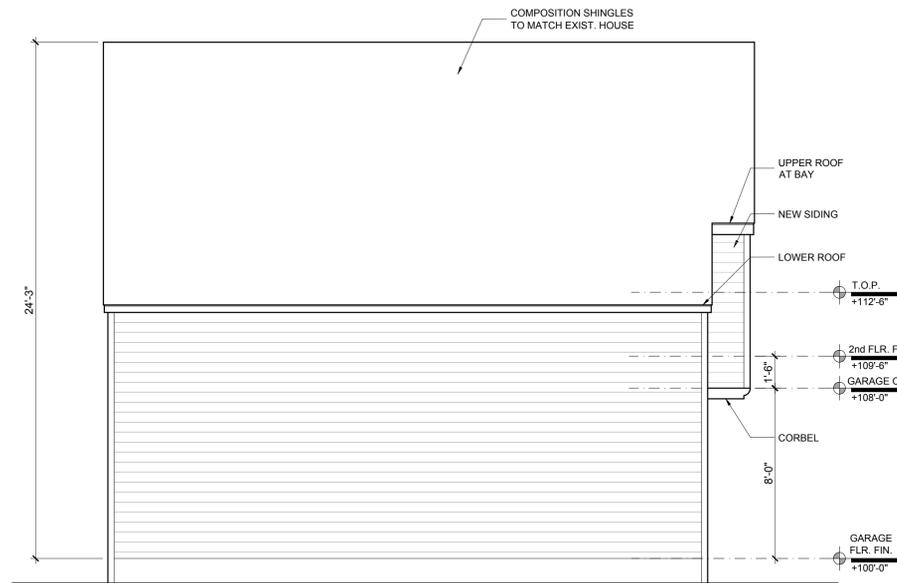
RIGHT ELEVATION
SCALE: 1/4" = 1'-0" B



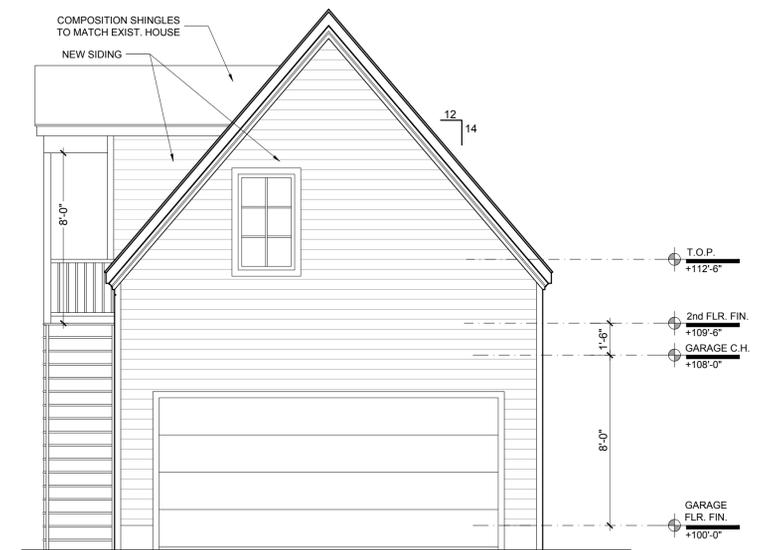
FRONT ELEVATION
SCALE: 1/4" = 1'-0" A



CONCEPTUAL SECTION
SCALE: 1/4" = 1'-0" E



LEFT ELEVATION
SCALE: 1/4" = 1'-0" D



REAR ELEVATION
SCALE: 1/4" = 1'-0" C

REVISIONS

NO.	DESCRIPTION

PROJECT TITLE
GILLON RESIDENCE
LOT 16F, BLOCK 87

DATE
06.28.2024

ISSUE
PERMIT SET

SHEET TITLE
ROOF PLAN
EXTERIOR ELEVATIONS

SHEET NO. **1.1**



ERIC LAPOINTE
ARCHITECT
 414.477.9402
 evlapointe@yahoo.com

3502
 GILLON AVE.
 DALLAS, TX.
 75205

REVISIONS

PROJECT TITLE
 GILLON RESIDENCE
 LOT 16F, BLOCK 87

DATE
 06.28.2024

ISSUE
 PERMIT SET

SHEET TITLE
 FIRST FLOOR ELECTRICAL
 PLAN

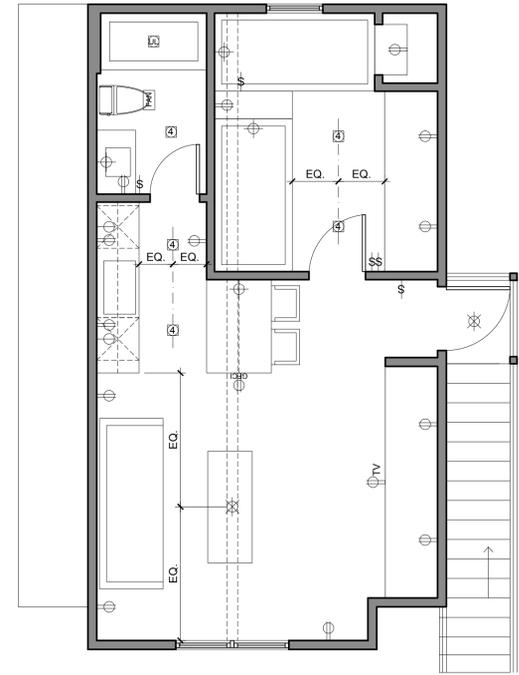
SHEET NO. **E1.0**

GENERAL ELECTRICAL NOTES

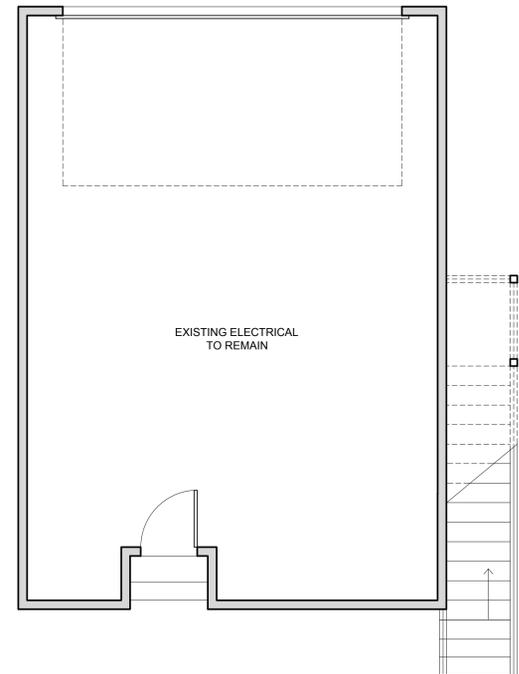
1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. WRITTEN DIMENSIONS ARE TO HAVE PRECEDENCE OVER SCALED DIMENSIONS.
2. CEILING LIGHT FIXTURE LAYOUT IS THE DETERMINANT REFERENCE FOR ALL OTHER CEILING LOCATED EQUIPMENT.
3. THE DESIGNER IS TO BE NOTIFIED OF ANY CONFLICTS BETWEEN DIMENSIONED LIGHTING FIXTURE LOCATIONS AND STRUCTURE, MECHANICAL EQUIPMENT, CHANGES TO CEILING DESIGN, ETC.
4. ALL EQUIPMENT IS TO BE INSTALLED IN ACCORDANCE WITH ALL GOVERNING ELECTRICAL CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DESIGNER IMMEDIATELY OF ANY CONFLICTS PERTAINING TO ANY CODES.
5. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EQUIPMENT BEFORE, DURING, AND AFTER INSTALLATION UNTIL PROJECT COMPLETION OR TURNOVER.
6. DO NOT USE ANY ARCHITECTURAL FIXTURES FOR GENERAL LIGHTING DURING CONSTRUCTION. AFTER TESTING FIXTURE, CONTRACTOR TO COVER APERTURE TO PROTECT FROM CEILING FINISHES, PAINT, ETC. ANY LAMPS USED DURING CONSTRUCTION MUST BE REPLACED WITH NEW LAMPS AT COMPLETION OF PROJECT. THIS IS DUE TO VIBRATION, DUST, AND FULL BRIGHTNESS (PRIOR TO THE IMPLEMENTATION OF THE DIMMING SYSTEM) DURING CONSTRUCTION, WHICH SIGNIFICANTLY REDUCES THE LAMP LIFE. NEVERTHELESS, ALL FIXTURES MUST BE TESTED WITH THE SPECIFIED LAMP TO ENSURE FUNCTIONALITY.
7. ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR TO DETERMINE APPROPRIATE WIRE GAUGE FOR SECONDARY RUNS TO TRANSFORMERS AND ENSURE THERE IS NO MORE THAN 5% VOLTAGE DROP TO ANY LIGHT FIXTURE OR LAMP.
8. ALLOW 4-6 WEEKS MINIMUM LEAD TIME ON ALL FIXTURES.
9. PURCHASE ORDERS SHOULD SPECIFY THE AGREED DELIVERY DATE AND THAT THE EQUIPMENT WILL BE SHIPPED COMPLETE WITH U.L. LABEL BY THE SPECIFIED DELIVERY DATE AS A CONTRACTUAL CONDITION OF THAT PURCHASE ORDER.
10. ELECTRICAL CONTRACTOR MUST PROVIDE PERSONNEL, LADDERS, LIFTS, AND EQUIPMENT AS REQUIRED FOR FINAL ADJUSTMENT OF LIGHTING AT COMPLETION OF PROJECT. THE MAJORITY OF THE FINAL FOCUS AND ADJUSTMENT OF THE LIGHTING WILL OCCUR AFTER DARK AND MAY REQUIRE MULTIPLE EVENINGS.
11. THIS DRAWING IS THE PROPERTY OF STUDIO EL73 AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT.
12. PLACE SWITCHES 3'-0" A.F.F.
13. PLACE ALL NEW BATHROOM VENTS ON TIMERS IN WALL ADJACENT TO TOILETS WHERE POSSIBLE.
14. PROVIDE WALK THRU WITH CLIENT AND DESIGNER TO DETERMINE SWITCHING FINAL LOCATIONS.
15. PLACE ALL DIRECTIONAL ART LIGHTS 3'-0" FROM WALL AT 10'-0" CEILING HEIGHT LOCATIONS.
16. PLACE ALL DIRECTIONAL ART LIGHTS 4'-0" FROM WALL AT 12'-0" CEILING HEIGHT LOCATIONS.
17. FIELD VERIFY WITH CLIENT ALL TV LOCATIONS AND HEIGHT A.F.F. FOR OUTLETS. MOST T.V. OUTLETS TO BE PLACED 54" A.F.F.
18. SMOKE DETECTORS: 110 V. DETECTORS TO COMPLY WITH GOVERNING CODES AND REGULATIONS.
19. PROVIDE 220V JUNCTION BOX AND OTHER REQUIRED WIRING FOR HVAC UNITS. VERIFY LOCATIONS WITH CONTRACTOR.
20. VERIFY RANGE VENT POWER REQUIREMENTS WITH THE SUPPLIER.
21. ALL EXTERIOR OUTLETS TO BE WATER PROOF AND ON A GROUND FAULT CIRCUIT.
22. ALL RECEPTACLES IN ALL BEDROOMS TO BE AFCI PROTECTED.
23. VERIFY ALL HANGING FIXTURE HEIGHTS WITH OWNER/DESIGNER.
24. CENTER HANGING FIXTURES IN THE SPACE, U.N.O.
25. ALL APPLIANCES, PLUMBING AND LIGHTING FIXTURES NOT SPECIFIED IN THE DRAWINGS SHALL BE PROPOSED TO THE OWNER PRIOR TO PURCHASING AND INSTALLATION.

ELECTRICAL LEGEND NOT ALL SYMBOLS MAY BE USED

SWITCH	⌘	WALL MOUNTED EXTERIOR FLOOD LIGHTS	⌘
110 DUPLEX OUTLET	⊕	SPOT RECESSED CAN	⊕
WATERPROOF 110 DUPLEX OUTLET	⊕ _{WP}	UNDER CABINET PLUG STRIP	— —
GROUND FAULT INTERRUPTER 110 DUPLEX OUTLET	⊕ _{GFI}	4" RECESSED CAN LIGHT W/ CLEAR ALZAC TRIM	⊕
FLOOR OUTLET VERIFY LOCATION IN FIELD	⊕ _F	5" RECESSED CAN LIGHT W/ CLEAR ALZAC TRIM	⊕
EQUIPMENT OUTLET	⊕ _E	UL DAMP RATED LIGHT FIXTURE	⊕
UNDERCABINET LIGHT FIXTURE	— —	RECESSED LIGHT FIXTURE W/ WALL WASHER	⊕
LED CEILING MOUNTED LIGHT FIXTURE	⊕	COMBO SMOKE & CO ₂ DETECTOR	⊕
CEILING MOUNTED LIGHT FIXTURE	⊕	EXHAUST FAN	FAN
WALL MOUNTED LIGHT FIXTURE	⊕	CABLE TELEVISION OUTLET	⊕
PENDANT LIGHT FIXTURE	⊕	CEILING FAN	⊕
STEP LIGHT	⊕		
SPEAKER	⊕ _{SP}		



GARAGE 2ND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



GARAGE 1ST FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



GREENWORKS SERVICE COMPANY

855-349-6757

support@greenworksinspections.com

<https://greenworksinspections.com>



RESIDENTIAL REMODEL

3502 Gillon Ave
Dallas, TX 75205

Kevin Clock
AUGUST 21, 2024



Inspector

Andrew Bowen

MAT #1473, TBPE FIRM #20170, MOLD FIRM
#ACO1162, TPCL FIRM #0761253

817-271-5158

andrew.bowen@greenworksinspections.com

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SUMMARY

5.1.1 Slab-on-Grade Foundation Adequacy - Location #1: Foundation Cracks

1: INTRODUCTION

Information

Project Information: GreenWorks Project Number	Project Information: Inspection Date	Project Information: Report Issue Date
141225	08/21/2024	08/26/2024

Project Information: Purpose - Structural Review for Addition/Renovation

As requested, personnel of GreenWorks Engineering and Consulting have completed a structural review of the address referenced above. The purpose of the observation was to collect information necessary to assess the condition and performance of the existing framing and foundation, and the structural implications of a proposed addition and/or renovation.

General Structure Information: Property Faces	General Structure Information: Building Type	General Structure Information: Framing Type
South	Two Story Residential	Wood-framed
General Structure Information: Foundation Type	General Structure Information: Garage Type	General Structure Information: Exterior Wall Type
Concrete Slab-on-Grade	Detached 2-car	Brick Veneer
General Structure Information: Roofing Material	General Structure Information: Original Construction Date	Reference Documents: Applicable Code
Composite Asphalt Shingles	1969	IRC 2021

**Reference Documents: Additional
Documents Provided**
N/A

Limitations

Project Information

PHOTOGRAPHS TAKEN ON-SITE

Some data collected in the form of photographs is presented in this report. These photographs are included for reference and are intended only to represent the distress generally found throughout the structure. They do not represent a comprehensive catalog of all of the distress present in the structure.

2: OBSERVATIONS - EXTERIOR

Information

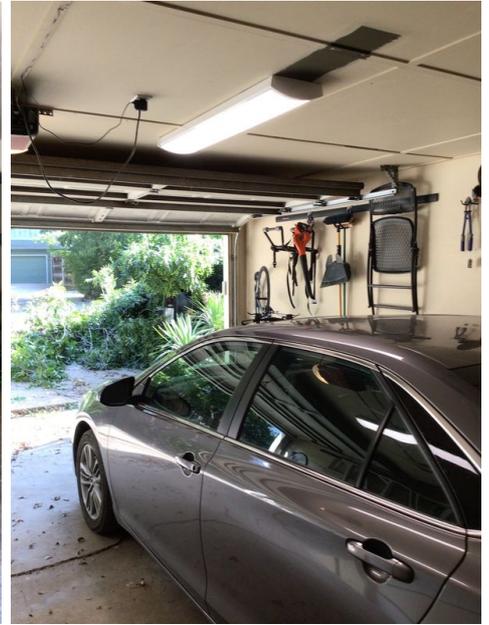
Exterior Photos: General Pictures



3: OBSERVATIONS - INTERIOR

Information

Interior Photos: General Pictures



4: OBSERVATIONS - ATTIC FRAMING

Information

Roof Sheathing: Roof Sheathing
Plywood



Wood Truss Type #1: Attic Photos - Truss Type #1





Wood Truss Type #1: Truss Clear Span
20 feet

Wood Truss Type #1: Truss Spacing
20 inches

Wood Truss Type #1: Truss Height (Maximum)
6 inches

Wood Truss Type #1: Truss End A Bearing
Exterior Wall

Wood Truss Type #1: Truss End A Cantilever Distance
5 inches

Wood Truss Type #1: Truss End B Bearing
Beam

Wood Truss Type #1: Truss End B Cantilever Distance
00 inches

Wood Truss Type #1: Truss Top Chord
2x4, vertical

Wood Truss Type #1: Truss Bottom Chord
2x4, vertical

Wood Truss Type #1: Truss Diagonal Webs
2x4, vertical

Wood Truss Type #1: Truss Vertical Webs
2x4, vertical

Wood Truss Type #1: # of Web Members
3

Wood Truss Type #1: Truss Construction
Metal gussets

5: SLAB-ON-GRADE FOUNDATION ADEQUACY

Information

Location #1: Pictures



Location #1: Concrete depth
20 inches

**Location #1: Approximate Depth
Below Grade**
6 inches

Structural concerns

5.1.1 Location #1

FOUNDATION CRACKS



6: OBSERVATIONS - WALL AND FLOOR FRAMING

Information

**General Information: Typical
Exterior Wall Framing**

2x4 @ 16"

**General Information: Typical
Interior Wall Framing**

Not exposed

**General Information: Typical
Ceiling Height (@ Wall for vaulted
or tray)**

8 feet

**General Information: Typical 2nd
Level Floor Joists**

Not visible

**General Information: Typical
Exterior Wall Headers**

Not exposed

**General Information: Typical
Interior Wall Headers**

Not exposed

7: STRUCTURAL REVIEW

Information

Foundation Adequacy Conclusions: Foundation - Inadequate

Based on our observations, the existing foundation appears to be failing and is inadequate to support the anticipated loads from the remodel. The existing foundation will require either a new grade beam at the perimeter wall or piers to support the foundation to bring the foundation to adequacy.

We recommend proceeding with the proposed renovations only according to structural plans that have been sealed by a licensed professional engineer registered with the state of Texas. If requested GreenWorks Engineering can provide the required framing plans.

Residential Remodel Conclusions: Addition/Renovation - Inadequate

It is our opinion that the existing framing is inadequate for the proposed addition/ remodel. Significant reinforcement of the existing framing will be required to accommodate the proposed addition/remodel.

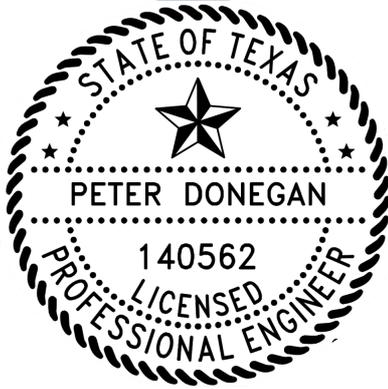
Residential Remodel Conclusions: Framing Plans Required

We recommend proceeding with the proposed remodel only according to framing plans that have been sealed by a licensed professional engineer registered with the state of Texas. If requested GreenWorks Engineering can provide the required framing plans.

8: PROFESSIONAL ENGINEER STAMP

Information

Professional Engineer Stamp: Reviewed by Peter Donegan, P.E.



GreenWorks Service Company
Professional Engineer
Texas Registered Engineering Firm 20170

Reviews enable us to continue providing the best experience possible for you and they also help homeowners like you to make confident decisions about their engineering needs. [Click here to leave a review.](#)

Report Prepared By: Prepared by
Zain Maredia, E.I.T.

Limitations

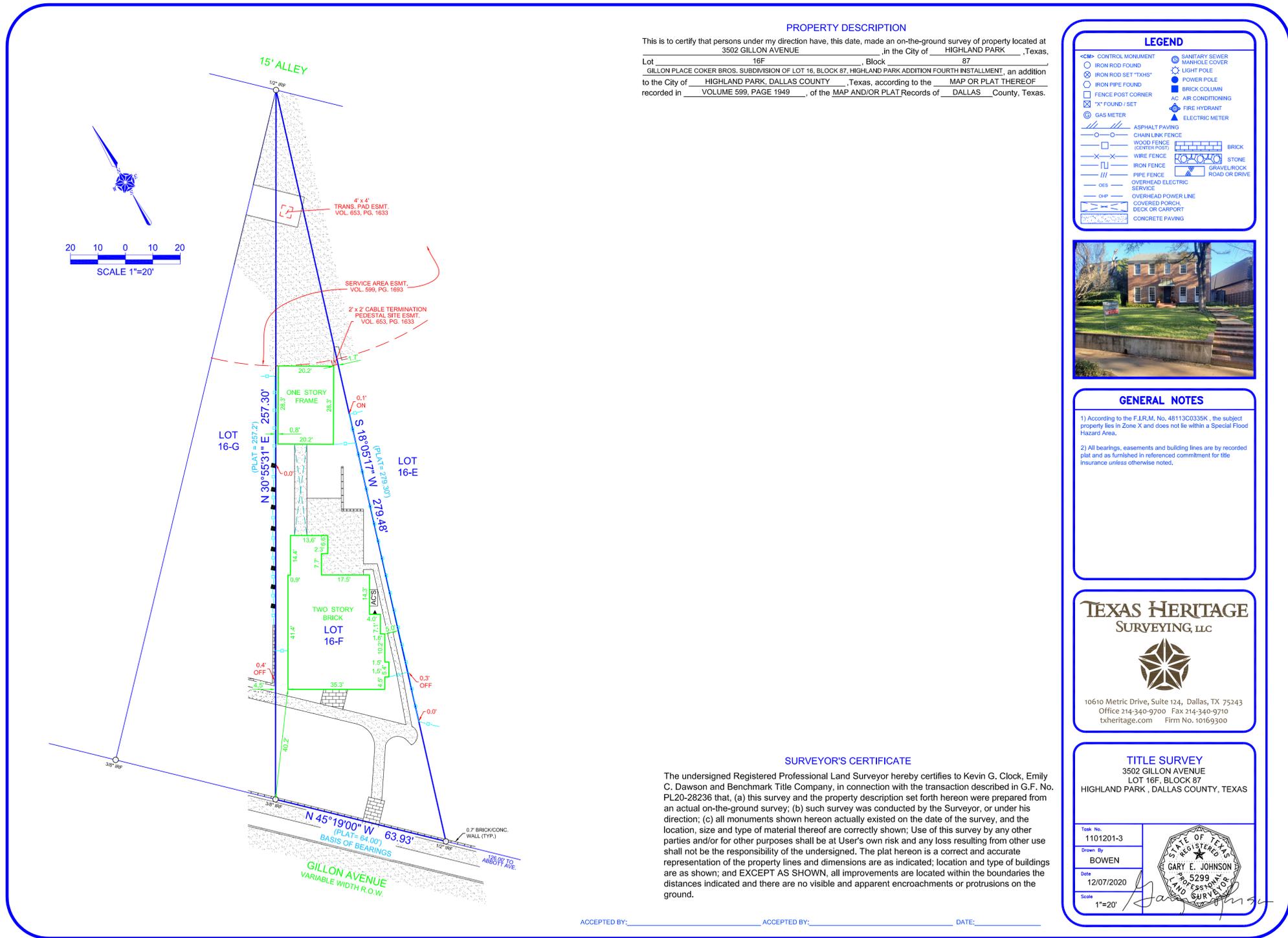
Limitations

GENERAL

The opinions and recommendations contained in this report are based on the visual observation of the then current conditions of the structure and the knowledge and experience of the engineer. The evaluation was limited to visual observations and areas not visible, accessible, or hidden behind furniture and appliances were not included in the evaluation. The evaluation did not include any soil sampling or testing.

The evaluation did not include any assessment of the existing foundation, plumbing, or soil and no implication is made on the compliance or non-compliance of the house with old or current building codes. No verification was made of the existing concrete strength, thickness, reinforcement nor capacity to support any load.

No guarantee or warranty as to the future performance or need for repair of the structure is intended or implied. Limits of liability for any claims with respect to this report is limited to the fees paid for services and anyone relying on the content of this report agrees to indemnify GreenWorks Service Company for all costs exceeding this fee.



PROPERTY DESCRIPTION

This is to certify that persons under my direction have, this date, made an on-the-ground survey of property located at 3502 GILLON AVENUE, in the City of HIGHLAND PARK, Texas, Lot 16F, Block 87, GILLON PLACE COKER BROS. SUBDIVISION OF LOT 16, BLOCK 87, HIGHLAND PARK ADDITION FOURTH INSTALLMENT, an addition to the City of HIGHLAND PARK, DALLAS COUNTY, Texas, according to the MAP OR PLAT THEREOF recorded in VOLUME 599, PAGE 1949, of the MAP AND/OR PLAT Records of DALLAS County, Texas.

LEGEND

◁M▷ CONTROL MONUMENT	○ SANITARY SEWER MANHOLE COVER
○ IRON ROD FOUND	○ LIGHT POLE
○ IRON ROD SET "TXHS"	○ POWER POLE
○ IRON PIPE FOUND	○ BRICK COLUMN
○ FENCE POST CORNER	○ AC AIR CONDITIONING
⊗ "X" FOUND / SET	○ FIRE HYDRANT
⊙ GAS METER	○ ELECTRIC METER
/// ASPHALT PAVING	○ CHAIN LINK FENCE
○ CHAIN LINK FENCE	○ WOOD FENCE (CENTER POST)
○ WIRE FENCE	○ IRON FENCE
○ PIPE FENCE	○ OVERHEAD ELECTRIC SERVICE
○ DIE	○ OVERHEAD POWER LINE
○ DHP	○ COVERED PORCH, DECK OR GARPORT
○ CONCRETE PAVING	○ CONCRETE PAVING
○ BRICK	○ BRICK
○ STONE	○ STONE
○ GRAVEL/ROCK ROAD OR DRIVE	○ GRAVEL/ROCK ROAD OR DRIVE



GENERAL NOTES

- 1) According to the F.L.R.M. No. 48113C0335K, the subject property lies in Zone X and does not lie within a Special Flood Hazard Area.
- 2) All bearings, easements and building lines are by recorded plat and as furnished in referenced commitment for title insurance unless otherwise noted.

TEXAS HERITAGE SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com Firm No. 10169300

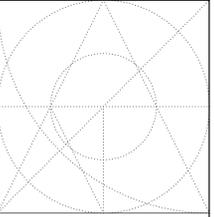
TITLE SURVEY
3502 GILLON AVENUE
LOT 16F, BLOCK 87
HIGHLAND PARK, DALLAS COUNTY, TEXAS

Task No.	1101201-3
Drawn By	BOWEN
Date	12/07/2020
Scale	1"=20'

SURVEYOR'S CERTIFICATE

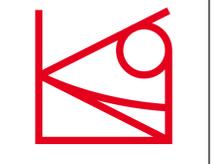
The undersigned Registered Professional Land Surveyor hereby certifies to Kevin G. Clock, Emily C. Dawson and Benchmark Title Company, in connection with the transaction described in G.F. No. PL20-28236 that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

ACCEPTED BY: _____ ACCEPTED BY: _____ DATE: _____



WILLIAM S. BRIGGS
ARCHITECT

3939 BLACK GOLD DRIVE, SUITE B
DALLAS, TX 75247
PHONE: 214-340-1888
WILLIAMSBRIGGS.COM



being architectural drawings for a project located at:
3502 Gillon Avenue
in Highland Park, Texas 75205

issue dates:
07 April 2021, issued for pricing

NOT FOR CONSTRUCTION OR REGULATORY APPROVAL

survey
A1.02

job # 2108

Exhibit 14A

ZONING ORDINANCE

§ 1.	ENACTING CLAUSE.	§ 17.	BOARD OF ADJUSTMENT.
§ 2.	PURPOSE.	§ 18.	CREATION OF BUILDING SITE.
§ 3.	ZONING DISTRICTS ESTABLISHED.	§ 19.	CERTIFICATE OF OCCUPANCY AND COMPLIANCE.
§ 4.	ZONING DISTRICT MAP.	§ 20.	COMPLETION OF BUILDING UNDER CONSTRUCTION.
§ 5.	ZONING DISTRICT BOUNDARIES.	§ 21.	AMENDMENTS.
§ 6.	COMPLIANCE REQUIRED.	§ 22.	GENERAL DEFINITIONS.
§ 7.	USE OF LAND AND BUILDINGS.	§ 23.	PENALTY FOR VIOLATIONS.
§ 8.	AREA REGULATIONS.	§ 24.	PRESERVING RIGHTS IN PENDING LITIGATION AND VIOLATIONS UNDER EXISTING ORDINANCE.
§ 9.	OFF-STREET PARKING AND LOADING SPACE REGULATIONS.	§ 25.	VALIDITY.
§ 10.	HEIGHT REGULATIONS.	§ 26.	LIST OF SPECIFIC USE PERMITS, PLANNED DEVELOPMENTS AND COMBINED BUILDING SITES.
§ 11.	SPECIFIC USE PERMITS.	§ 27.	EFFECTIVE.
§ 12.	ACCESSORY BUILDING REGULATIONS.		
§ 13.	SPECIAL AREA AND USE REGULATIONS.		
§ 14.	SIGN REGULATIONS.		
§ 15.	FENCE REGULATIONS.		
§ 16.	NONCONFORMING USES AND STRUCTURES.		

(ORDINANCE 676)

§ 17. BOARD OF ADJUSTMENT.

17-100 Organization: There is hereby created a Board of Adjustment consisting of five (5) members, each to be appointed by resolution of the Town Council for a term of two years. No person shall serve as Chair of the Board of Adjustment for more than three successive two-year terms beginning in June of 2020. Other than the Chair, no person shall serve as a voting member of the Board of Adjustment for more than three successive terms beginning in June of 2020. Additionally, members are removable for cause by the appointing authority upon written charges and after public hearing. Vacancies shall be filled for the unexpired term of any member, whose place becomes vacant for any cause, in the same manner as the original appointment was made. Provided, however, that the Town Council may appoint two alternate members of the Board of Adjustment who shall serve in the absence of one or more of the regular members when requested to do so by the Mayor, so that all cases to be heard by the Board of Adjustment will always be heard by a minimum number of four members. The alternate members, when appointed, shall serve for the same period as the regular members, which is for a term of two years, and any vacancy shall be filled in the same manner and they shall be subject to removal the same as the regular members.

17-101 The Board shall adopt rules to govern its proceedings; provided, however, that such rules are not inconsistent with this ordinance or statutes of the State of Texas. Meetings of the Board shall be held at the call of the Chairman and at such other times as the Board may determine. The Chairman, or in his absence, the Acting Chairman, may administer oaths and compel the attendance of witnesses. All meetings of the Board shall be open to the public. The Board shall keep minutes of its proceedings, showing the vote of each member upon each question, or, if absent or failing to vote, indicate such fact, and shall keep records of its examinations and other official actions, all of which shall be immediately filed in the office of the Board and shall be a public record.

17-102 Appeals to the Board of Adjustment can be taken by any person aggrieved or by an officer, department or board of the municipality affected by any decision of the Administrative Officer. Such appeal shall be taken within fifteen (15) days time after the decision has been rendered by the Administrative Officer, by filing with the officer from whom the appeal is taken and with the Board of Adjustment, a notice of appeal specifying the grounds thereof. The officer from whom the appeal is taken shall forthwith transmit to the Board all the papers constituting the record upon which the action appealed from was taken.

17-103 An appeal shall stay all proceedings of the action appealed from unless the officer from whom the appeal is taken certifies to the Board of Adjustment, after the notice of appeal shall have been filed with him that by reason of facts stated in the certificate, a stay would, in his opinion, cause imminent peril to life or property. In such case, proceedings shall not be stayed, otherwise, than by a restraining order which may be granted by the Board of Adjustment or by a court of record on application on notice to the officer from whom the appeal is taken and on due cause shown.

17-104 The Board of Adjustment shall fix a reasonable time for the hearing of an appeal, give the public notice thereof, as well as due notice to the parties in interest and decide the same within a reasonable time. At the hearing any party may appear in person or by attorney or by agent.

17-200 Jurisdiction: When in its judgment, the public convenience and welfare will be substantially served and the appropriate use of the neighboring property will not be substantially or permanently injured, the Board of Adjustment may, in specific cases, after public notice and public hearing, and subject to appropriate conditions and safeguards authorize the following special exceptions to the regulations herein established.

- a. Permit the reconstruction, extension or enlargement of a building occupied by nonconforming

use on the lot or tract occupied by such building provided such reconstruction does not prevent the return of such property to a conforming use.

- b. Permit such modifications of the height, yard, fence location and fence height, coverage, easement obstruction regulations and parking regulations as may be necessary to secure appropriate development of a parcel of land which differs from other parcels in the district by being of such restricted area, shape, or slope that it cannot be appropriately developed without such modification.
- c. Require the discontinuance of nonconforming uses of land or structure under any plan whereby the full value of the structure and facilities can be amortized within a definite period of time, taking into consideration the general character of the neighborhood and the necessity for all property to conform to the regulations of this ordinance. All actions to discontinue a nonconforming use of land or structure shall be taken with due regard for the property rights of the persons affected when considered in the light of the public welfare and the character of the area surrounding the designated nonconforming use and the conservation and preservation of property. The Board shall from time to time on its own motion or upon cause presented by interested property owners inquire into the existence, continuation or maintenance of any nonconforming use within the Town of Highland Park, Texas.

17-300 Actions of the Board:

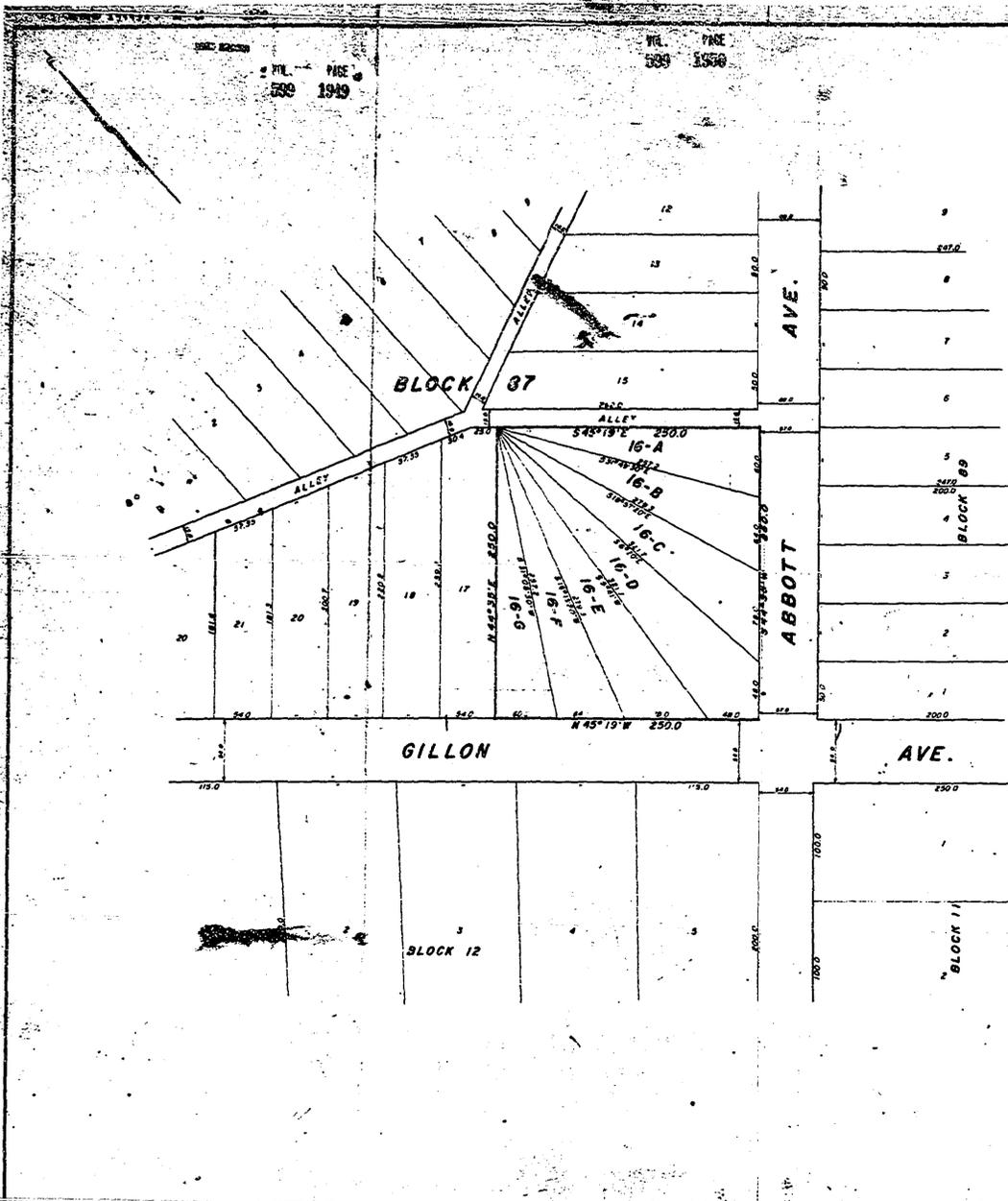
- a. In exercising its powers, the Board may, in conformity with the provisions of Articles 1011-A [to] and including 1011-J of the 1925 Civil Statutes of Texas, as amended, revise or reform, wholly or partly, or may modify the order, requirement, decisions, or determination appealed from and make such order, requirement, decision or determination as ought to be made and shall have all the powers of the officer from whom the appeal is taken including the power to impose reasonable conditions to be complied with by the applicant.
- b. The concurring vote of four (4) members of the Board shall be necessary to revise any order, requirement, decision or determination of any such administrative official, or to decide in favor of the applicant on any matter upon which it is required to pass under this ordinance or to affect any variance in said ordinance.
- c. Any person or persons, jointly or severally, aggrieved by any decision of the Board of Adjustment or any taxpayer or any officer, department or board of the municipality may present to a court of record a petition, duly verified, setting forth that such decision is illegal, in whole or part, specifying the grounds of the illegality. Such petition shall be presented to the court within ten (10) days after the filing of the decision in the office of the Board and not thereafter.

(Ordinance 740, sec. 12, adopted 5/4/70; Ordinance 2059 adopted 2/4/20)

§ 18. CREATION OF BUILDING SITE.

18-100 NO PERMIT FOR THE CONSTRUCTION OF A BUILDING OR BUILDINGS UPON ANY TRACT OR PLOT SHALL BE ISSUED UNTIL A BUILDING SITE, BUILDING TRACT OR BUILDING LOT HAS BEEN CREATED BY COMPLIANCE WITH ONE OF THE FOLLOWING CONDITIONS:

- a. The lot or tract is part of a plat of record, properly approved by the Town Council of Highland Park, and filed in the Plat Records of Dallas County, Texas, and has not been previously utilized as all or part of building site.



STATE OF TEXAS
CITY OF DALLAS
DAVID GRAHAM HALL FOUNDATION by R. F. VOYES,
 President, as the owner of a tract of land in the City of
 Highland Park, Texas; and being more fully described as follows:
 Being all of Lot 16 Block 37, of Highland Park Addition
 (hereinafter according to the 20-222 of Block 37, of an
 map recorded in Vol. 2 Pg. 18 Map Book of Dallas, 20-20
 beginning at the South corner of said Lot 16, the point of
 intersection of the Northwest line of Abbott Ave with the North-
 east line of Gillon Ave
 Thence North 85° 19' West, along the Northeast line of Gillon
 Ave, 250.0 Ft to the West corner of said Lot 16
 Thence North 44° 35' West 250.0 Ft to the North corner of said
 Lot 16, a point in the Southeast line of a 25 Ft alley
 Thence South 85° 19' West, along said alley, 250.0 Ft to the
 East corner of said Lot 16, a point in the Northwest line of Abbott
 Ave
 Thence South 44° 35' West, along said Northwest line of Abbott
 Ave, 250.0 Ft to the point of beginning and containing 1.935 Acres.
 NOW, therefore, KNOW ALL MEN BY THESE PRESENTS:
 That I, **DAVID GRAHAM HALL FOUNDATION**, do hereby adopt this
 plat designating the hereinabove described property as **GILLON PLACE**
 Clear Area Subdivision of Lot 16 Block 37 Highland Park Addition
 Parcel Contained, in addition to the City of Highland Park,
 Texas; and I do hereby dedicate to the Public Use forever the streets
 and alleys shown thereon.

WITNESS MY HAND, this the 15th day of March, 1965.

David Graham Hall
 DAVID GRAHAM HALL FOUNDATION by
 R. F. VOYES,

STATE OF TEXAS
 COUNTY OF DALLAS

Before me, the undersigned authority, personally appeared **DAVID GRAHAM HALL FOUNDATION** by R. F. VOYES, known to me to be the person whose name is subscribed to the foregoing instrument and that he acknowledged to me that he executed the same for the purposes and consideration expressed therein.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 15th day of March, 1965.

Smith & Lewis
 NOTARY PUBLIC IN AND FOR
 DALLAS COUNTY, TEXAS

JOYNER'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:
 That I, Robt. H. West, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the iron rods at each corner were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City Plan Commission of the City of Highland Park.

Robt. H. West
 ROBT. H. WEST

STATE OF TEXAS
 COUNTY OF DALLAS

Before me, the undersigned authority, personally appeared Robt. H. West, known to me to be the person whose name is subscribed to the foregoing instrument and that he acknowledged to me that he executed the same for the purposes and consideration expressed therein.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 9th day of March, 1965.

Paul H. Lanier
 PAUL H. LANIER
 Notary Public
 Notary Public in and for
 DALLAS COUNTY, TEXAS

Approved by action of the Town Council of the Town of Highland Park, Texas, on March 15, 1965, subject to certain reservations and conditions set forth in Exhibit A which is attached hereto and made a part hereof for all purposes.

Mayor
 Mayor

ATTEST:
P.C. Newman
 P.C. Newman
 Town Secretary

ROBT. H. WEST
 COUNTY SURVEYOR
 REBENTSON PUBLIC SURVEYORS
 LICENSED STATE LAND SURVEYORS
 MARCH 9, 1965
 100 COUNTY COURT HOUSE

VOL. PAGE 589 1951
GILLON PLACE
COKER BROS. SUBDIVISION
 LOT 16 BLOCK 37
 HIGHLAND PARK ADDITION
 MARCH 1965
 DALLAS COUNTY, TEXAS

599-1949

3. That an easement shall be granted to cover service area on the rear of all lots to provide for common access, for entry by Highland Park for police, fire, and garbage collection and similar functions and that said easement shall be in size and form acceptable to the Building Inspector of the Town of Highland Park.
4. That the parkways facing both Gillon and Abbott Avenues shall be landscaped and that plans for same will be submitted to the Building Inspector for prior approval.

PASSED AND APPROVED this the 15th day of March, 1965.


Mayor

ATTEST:


Town Secretary

EXHIBIT A

AN EXCERPT FROM THE MINUTES OF A SPECIAL MEETING OF THE TOWN COUNCIL OF THE TOWN OF HIGHLAND PARK, TEXAS, HELD AT THE TOWN HALL, MONDAY, MARCH 15, 1965, 4:30 P.M.

After a general discussion and on a motion by Councilman Jones, seconded by Councilmen Burford, the Council unanimously approved the following Resolution:

BE IT RESOLVED that the application of David Graham Hall Foundation for approval of a plat filed on March 15, 1965, subdividing Lot 16, Block 87, of Highland Park Installment No. 4, Town of Highland Park, according to its official Map of Record in the Map or Plat Records of Dallas County, Texas into seven (7) single family dwelling lots facing on Abbott Avenue and Gillon Avenue, be and the same is in all things approved, and that the Mayor and Town Secretary be authorized to execute the certificate of approval authorizing the County Clerk of Dallas County, Texas to record said plat in the Map or Plat Records in Dallas County, Texas, subject to the condition that concurrently with the filing thereof there shall be filed in the Deed Records of Dallas County, Texas the following restrictive covenants and conditions running with the land:

1. Each lot in said subdivision shall be a single family dwelling lot under the provisions of the Zoning Ordinance of the Town of Highland Park except where the restrictive covenants are more onerous than the requirements of the Zoning Ordinance.
2. Residences erected upon each of the lots in said subdivision shall have a minimum floor area of two thousand (2,000) square feet exclusive of garages, carports, and accessory buildings.

And be it further resolved that the authority of the certificate of approval to record said plat shall be further subject to the condition that Coker Brothers Construction Company acquire title to the aforesaid property within sixty (60) days from the effective date hereof and further that thereafter within a period not to exceed ten (10) days that Coker Brothers Construction Company execute an agreement with the Town of Highland Park to include the following provisions:

1. That the site will be immediately cleared of all nonconforming buildings.
2. That an easement of five (5) feet along the side of the property fronting on the alley entering from Abbott Avenue shall be granted for the purpose of widening said alley to twenty (20) feet.

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Gillon Place

Return to:

TOWN of Highland Park
4700 DREXEL DRIVE
DALLAS, TEX

1965 JUN 28 PM 2 16

FILED
Tom E. Ellis
COUNTY CLERK
DALLAS COUNTY

ATTENTION: MR. JAMES D
HANCOCK

STATE OF TEXAS
I hereby certify that this instrument was filed on this date and here stamped herein by me and was duly recorded in the volume and page of the record books of Dallas County, Texas as stamped herein by me.



JUN 28 1965
Tom E. Ellis
COUNTY CLERK, Dallas County, Texas

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599-1949-A

Filed for Record on the 28th day of June A.D. 1965, at 2:16 o'clock P.M.
Duly Recorded this the 29th day of June A.D. 1965, at --- o'clock --- M.
Instrument No. 144496

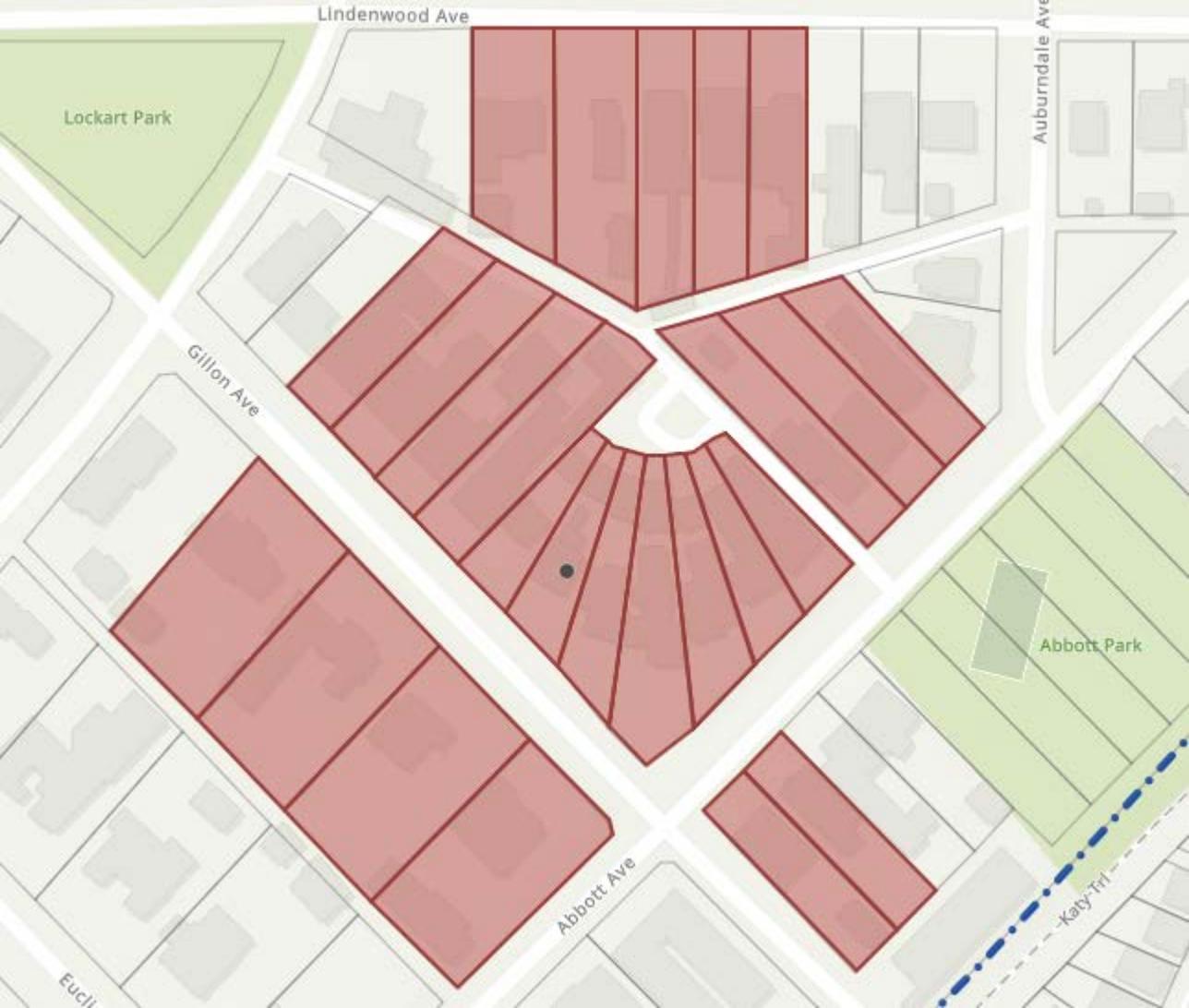
TOM E. ELLIS, County Clerk
Dallas County, Texas

By Barbara Barrett Deputy

Contact Information of Neighbors:

Name	Lot #*	Mailing Address	Phone Number
Al and Janice Coker	16G	3504 Gillon Ave	214-808-4144 (Al)
Suzana Gordon	16E	3500 Gillon Ave	214-929-6911
Julianne and Eddy Esteve	16D	4801 Abbott Ave	214-850-2333 (Julianne)
Austin and Kristen Anderson	16C	4803 Abbott Ave	214-460-9686 (Kristen)
John and Miriam Spradling	16B	4805 Abbott Ave	901-356-7771 (Miriam)
Hunter Williams	16A	4807 Abbott Ave	512-751-5753
Mary Ann Francis	17	3506 Gillon Ave	214-476-3666

*All neighbors in Block 87



Lindenwood Ave

Auburndale Ave

Lockart Park

Gillon Ave

Abbott Park

Abbott Ave

Euclid Ave

Katy Trl

